

# Phase One Environmental Site Assessment of 509 Glendale Avenue East, NOTL



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Prepared for:

Professor Katie Altoft  
and Niagara College

## **Executive Summary**

Niagara College purchased the land and building at 509 Glendale Ave E in Niagara-on-the-Lake and now wants to develop it. Before that can happen, a Phase One Environmental Site Assessment (ESA) needed to be conducted to see if there are any contaminants on site. In this document is the summary of a records review, site reconnaissance, interviews, findings, and the conclusion. There was lots of waste, and other stuff that they may be using later, as well as a drum that appeared to be empty. None of this was all that concerning. However, a large, empty ditch behind the building that went out to an open field and a man-made hill that sits over top when water flows underground was discovered. The ditch was peculiar, but it may just be there to deal with flooding. It's the hill that was particularly troubling. A sampling well was also drilled into the hill, but there are no records about it to be found at this time.

Also, based on an ESA from a former Niagara College student, there is speculation that a former owner of the building used to have their sanitary waste treated, up until August 1997, in the location of where the lagoons are now. Since the college finished completion of construction in mid to late 1998, that tends to show the college stopped that former owner from continuing what they were doing.

With all of this information on hand, it is recommended that the college proceed with a Phase Two ESA.

# Contents

<b>1.0 – Introduction</b> .....	<b>1</b>
<b>1.1 – Background of Location</b> .....	<b>1</b>
<b>1.2 – Purpose</b> .....	<b>1</b>
<b>1.3 – Scope of Work</b> .....	<b>1</b>
<b>1.4 – Site Reconnaissance</b> .....	<b>1</b>
<b>1.5 – Limitations</b> .....	<b>1</b>
<b>2.0 – Records Review</b> .....	<b>1</b>
<b>2.1 – Title Search (Appendix H)</b> .....	<b>1</b>
<b>2.2 – NPCA Topographical Map (Appendix G)</b> .....	<b>2</b>
<b>2.3 – Site Control Plan By-Law and Agreement (Appendix K &amp; L)</b> .....	<b>2</b>
<b>2.4 – ERIS Report (Appendix I)</b> .....	<b>2</b>
<b>2.5 – Property Assessment Parts 1 &amp; 2 (Appendix M)</b> .....	<b>2</b>
<b>2.6 – Phase 1 ESA of Niagara College (Appendix N)</b> .....	<b>2</b>
<b>2.7 – Site Location (Appendix B)</b> .....	<b>2</b>
<b>2.8 – Historical Aerial Photos of Site (Appendix C)</b> .....	<b>2</b>
<b>2.9 – Topographical map of Location from the Province of Ontario (Appendix D)</b> .....	<b>2</b>
<b>3.0 – Site Reconnaissance</b> .....	<b>3</b>
<b>3.1 – Site Description</b> .....	<b>3</b>
<b>3.2 – Geology, and Agriculture</b> .....	<b>4</b>
<b>3.3 – Site Operations</b> .....	<b>5</b>
<b>3.4 – Surrounding Locations</b> .....	<b>5</b>
<b>4.0 – Interviews</b> .....	<b>6</b>
<b>4.1 – Interview with Professor</b> .....	<b>6</b>
<b>4.2 - Interview with Director of Facilities Management Services</b> .....	<b>6</b>
<b>4.3 – Interviews with Building Tenants</b> .....	<b>6</b>
<b>4.4 – Interview with RCMP</b> .....	<b>6</b>
<b>4.5 – Interview with Other</b> .....	<b>6</b>
<b>5.0 – Findings</b> .....	<b>6</b>
<b>6.0 – Conclusion</b> .....	<b>6</b>
<b>7.0 – References</b> .....	<b>7</b>
<b>8.0 – Appendix</b> .....	<b>9</b>
<b>8.1 – Appendix A</b> .....	<b>9</b>
<b>8.2 – Appendix B</b> .....	<b>17</b>

8.3 – Appendix C..... 17  
8.4 – Appendix D..... 30  
8.5 – Appendix E..... 31  
8.6 – Appendix F ..... 32  
8.7 – Appendix G ..... 33  
8.8 – Appendix H..... 34  
8.9 – Appendix I ..... 36  
8.10 – Appendix J ..... 83  
8.11 – Appendix K..... 86  
8.11 – Appendix L ..... 102  
8.12 – Appendix M ..... 110  
8.13 – Appendix N..... 125

## **1.0 – Introduction**

### **1.1 – Background of Location**

On July 11, 2019, Niagara College made an announcement that the college has purchased the building at 509 Glendale Avenue East, Niagara-On-The-Lake, the Niagara Corporate Business Center (NCBC), and the 32.84 acres of land that it sits on (NCBC Site, 2019; Baiguzhiyeva, 2019). It's near the southeastern border of the Niagara-On-The-Lake municipality, surrounded by Niagara College, multiple businesses, Taylor Road, Queen Elizabeth Highway, and Glendale Avenue, which becomes Glendale Avenue East. That road then ends in a dead end in front of the NCBC property. No changes are planned for the NCBC building at this time, but there are long term plans in development for the land behind the building (Baiguzhiyeva, 2019). There is a lot that is not known about the property so this is why an Environmental Site Assessment (ESA) has been requested by the college to be completed.

### **1.2 – Purpose**

The goal of this ESA was to see if there was any actual or potential contamination of the environment and possible liabilities that the location was the cause of due to it's past or current uses.

### **1.3 – Scope of Work**

This ESA will be done in accordance with CSA Standard Z768-01.

### **1.4 – Site Reconnaissance**

On October 8, 2020, our Environmental Site Assessment class did a site reconnaissance of 509 Glendale Avenue East in two sections corresponding with the times of when we would normally have our Environmental Analysis I lab class. Section Two visited the site at 11:45 am, while Section One was there for 1:30 pm. I was with Section One. The weather was 11°C, partly cloudy with 0.0 mm of precipitation and Professor Katie Altoft was with us. She talked to us about the site, then we all walked around the area for approximately 20 minutes to look for anything that might be a bit suspicious, hazardous, or toxic. After that, we re-grouped, walked around the site some more while Professor Altoft explained some of what the college wants to do with the land and the history of the area. Finally, we walked over to the lagoons on campus where she provided some information about the lagoons and the Niagara-On-The-Lake campus as a whole.

### **1.5 – Limitations**

This report is based primarily on an onsite visual inspection of the location and exterior of the NCBC. Due to the COVID-19 pandemic, we were not permitted entry to the building and could not conduct any interviews with the tenants.

## **2.0 – Records Review**

### **2.1 – Title Search (Appendix H)**

The building was originally planned in 1978 and the Foster Wheeler had bought the land, sold it on January 27, 1999 to Trivieri Investments Ltd who then sold it to Niagara College on August 23, 2019.

## **2.2 – NPCA Topographical Map (Appendix G)**

This topographical map shows the hill on the southwestern side of the property (509 Glendale – NPCA, 2019). This map does not match up with the provincial topographical map.

## **2.3 – Site Control Plan By-Law and Agreement (Appendix K & L)**

Site control plans are a type of control of development through the Planning Act that handles the analysis of the elaborate design of a location to make sure that all regulations and requirements are being adhered to (Site Control Plan, n.d.). Nothing may proceed until the site plan is approved (Site Control Plan, n.d.). Based on this, they might have renovated the building in 2001 or did some construction elsewhere on the property.

## **2.4 – ERIS Report (Appendix I)**

Foster Wheeler as well as other past and current tenants have disposed of potentially hazardous materials on site. That will all be listed in Table 4 below.

Company Name / Contamination Source	Hazard
Foster Wheeler	Alkaline waste (other metals), organic & inorganic laboratory chemicals, petroleum distillates, acid waste (heavy metals).
Foster Wheeler	Leak in a line of FREON R-134A (CFC) due to an abandoned UST.
ParaMed	Pathological waste.
Transport Truck	Small amount of diesel leaked from pipe/hose onto the highway. Possible soil contamination.

(Database Report, n.d.)

There is also soil samples in this report. They are shown in Section 2.2, respectively.

## **2.5 – Property Assessment Parts 1 & 2 (Appendix M)**

The property assessment of the NCBC describes the building, property, surrounding properties and includes maps of the building and the property with a 250-meter perimeter.

## **2.6 – Phase 1 ESA of Niagara College (Appendix N)**

According to this ESA, it is believed that the lagoons treated sanitary waste from the NCBC building when Foster Wheeler owned it up until August 1997 (human feces, hospital gowns, band-aids, etc.) (Trimble, 2014).

## **2.7 – Site Location (Appendix B)**

As is standard with ESAs, a 250-meter perimeter was made around the property to identify nearby properties that could be presenting issues to the site.

## **2.8 – Historical Aerial Photos of Site (Appendix C)**

Historical aerial photos of the site from ranging from 1934 - 2015.

## **2.9 – Topographical map of Location from the Province of Ontario (Appendix D)**

A topographical map of the location that the provincial government made.

### 3.0 – Site Reconnaissance

#### 3.1 – Site Description

The site is 32.84 acres with some hills, ditches, vegetation, and a building with a parking lot that has 433 spots for parking (Corporation of the Town of Niagara-On-The Lake By-law No. 3579-01, 2001). A plan for the building was submitted to the province in 1978 (46357-0010 (LT), 2019) and then finished construction in 1980 (NCBC Site, 2019). It is 270 meters long (Niagara Corporate Business Centre, 2012) and 3 storeys tall with a basement (Baiguzhiyeva, 2019). There's no good source for the width, but it's probably around 100 - 150 meters wide. Also, despite the construction happening in 1980, asbestos is believed to not have being used in the process. Near the building on the west side is a large, green transformer, which contain PCBs. On the southern side is a small separate building for a generator and extra diesel, then a gray heating, ventilation and air conditioning (HVAC) system and on the south eastern corner is what appears to be a brown electrical box, large propane tank, yellow fire hydrant that is protected by small, cement poles, and two industrial size garbage bins.

Going away from the building, on the north and west side of the building is a parking lot, which has a lot of parked cars. Then it extends south on the west side a few hundred meters where shipping containers, bricks, cement blocks, empty carts and trailers, big pile of branches, and large mounds of topsoil are kept. There are also metal rods, wood, a hut where road salt is usually kept during the winter, and a possibly empty 40 kilogram (kg) drum among many other things that seem to either just not being used or garbage. The drum is mostly plastic with a metal lid that is rusting. Labels on the side say to *handle with care, protect from dents, mat. 6343* and *inhal. mat. 2826*. The codes might be an internal Niagara College code system, but 6343 is probably Cobalt Chromite Blue Green - Spinel ( $\text{CoCr}_2\text{O}_4$ ) (Material Safety Data Sheet, 2003) and 2826 might be toluene, 4-(2,2-dicyanoethenyl) ( $\text{C}_{11}\text{H}_8\text{N}_2$ ) (toluene, 4-(2,2-dicyanoethenyl), n.d.). The  $\text{CoCr}_2\text{O}_4$  is used to make plastics, coatings and industrial materials (Cobalt Chromite Blue Green Spinel (PB36), n.d.), while toluene, 4-(2,2-dicyanoethenyl) doesn't seem to have a specific use.

There is also a ditch is on the west side starting just past where the college campus parking lot connects with the NCBC parking lot and it goes north, towards the road, as well. At the time we were there, a worker in a bobcat track loader seemed to be clearing out part of the land that the college wants to eventually develop.

Along the southern side of the property, after the parking lot, the area is primarily grass with sparsely placed trees. There is a deep ditch that starts near the south west side of the building, curves and goes out to the field. It may have been used to drain large volumes of water out into the field. Moving towards the east, the land has an incline, but it's not on the provincial topographical map, which means it is probably man-made and maybe even concealing something. On the northern side of that hill is a sampling well, which means a Phase Two ESA might have been conducted on this site previously. An attempt was made to get the records of this well, but it doesn't appear on the provincial well records map and there is no code on the outside protective metal cover. It could be on the inside of the lid and it is given in the ERIS report. There is a Well ID in the ERIS report, but that's for a sampling well on the NC campus. This well is probably too new. North of the building is more grass, an

empty wooden sign structure, some small ditches, bridges and a road to get in and out of the area, which connects to Glendale Avenue East.

### 3.2 – Geology, and Agriculture

The code for the site on the Soils of St. Catharines-Niagara-on-the-Lake map is (LIC1)/B. In Table 1, below, the soil order will be listed, and the type defined.

Soil order	56600431
Soil type	Percentage (%)
Gleysolic	48
Luvisolic	40
Brunisolic	12
Chernozemic	0
Cryosolic	0
Organic	0
Podzolic	0
Regosolic	0
Solonetzic	0
Vertisolic	0
LIC1	Mainly lacustrine heavy clay
B	Smooth basin to level
Drainage	Poor

(Soils of Canada, n.d.; The Soils of the Regional Municipality of Niagara (Volume 1 and 2), 1989)

In 1966, when the Agricultural Land Use Systems map was published, the main agricultural type was forest, which is defined as “productive stands of relatively mature native trees over 6 m in height and usually with closed canopy” (Agricultural Land Use Systems of the Regional Municipality of Niagara, 1966).

According to the Environmental Risk Information Services (ERIS) report, In 1998, there was 2 soil samples taken from the site and analyzed (Database Report, n.d.). The results of both are listed in table 2 below.

Samples	Stratum Description
Sample 1	“Top Depth: 0.0 m Fill - 15 cm asphalt over 30 cm crushed limestone over brown clayey silt fill, some silt, sand and gravel, wtpl to sdtpl, firm over buried topsoil”
Sample 2	“Top Depth: 4.8 m Clay - brown, fissured, laminated, traces of sand and gravel, some silt pockets and seams, sdtpl to wtpl, very stiff to stiff, WI = 56.7%, Wp = 24%, Ip = 32.7%”

(Database Report, n.d.).

### 3.3 – Site Operations

The NCBC had in the past—and continues to have—many tenants. All of the following that are shown in Table 2 are confirmed, but there maybe more.

Current Tenants	Type of Business/Service	Source
Associated Engineering	Engineering consultant	Appendix I
Bayshore Healthcare Ltd.	In-home healthcare provider	Appendix I
Firing Industries	Equipment supplier	Appendix I
The Halex Group of Companies	Manufacturer	Appendix I
Horton CBI Limited	Engineering consultant	Appendix I
Incom Technical Solutions	Software developer	Appendix I
Kortext Canada Ltd.	e-book provider	Appendix I
Niagara College Canada	Education institution/ administration offices	Appendix I
Niagara Emergency Medical Services (Niagara EMS)	911 EMS dispatch	Appendix I
MacRae, Dan J Professional Corporation	Financial planner	Appendix I
Manulife Securities	Investment & insurance dealer	Appendix I
Mitsubishi Power Systems Canada	Manufacturer	Appendix I
NEMS Systems Performance	On site IT for Niagara EMS (speculation)	Appendix I
Niebo Solutions Inc.	Engineering & design consultants	Appendix I
ParaMed Home Health Care	In-home healthcare provider	Appendix I
SBB Energy Canada	Engineering consultant	Appendix I
Southampton Limousine Niagara	Limousine services provider	Appendix I
The Garrett Group	Insurance provider	Appendix I
The Niagara Institute	Leadership training center	Appendix I
Former Tenants	Type of Business/Service	Source
Elementa Group Inc.	Waste management	(Database Report, n.d.)
Foster Wheeler	Manufacturer	(Database Report, n.d.)
Keyframe Digital	Digital animator	(Finally, A Firm That Will Truly Animate the Downtown, 2013)
Olfa Products Group	Distributor	(Database Report, n.d.)
Perfect Circle Piston Rings	Manufacturer	(Database Report, n.d.)
RCMP	Federal police detachment	(Zettel, 2006)
Victor Reinz Gaskets	Manufacturer	(Database Report, n.d.)

### 3.4 – Surrounding Locations

The majority of the buildings in the area have been there for at least two decades now. The newest structure would be the Outlet Collection at Niagara mall, but that is outside of the 250-meter perimeter. Table 3, below, lists all of the properties and structures that are currently within the perimeter.

Property	Purpose	Address	Direction from site
Woodend Conservation	Hiking trails	1 Taylor Rd	South
Private property	Private residence	Behind 1 Taylor Rd	South
Antenna	Communication purposes	N/A	West (near corner)
Husky Travel Centre	Gas station/restaurant	615 York Rd	West
Miller Maintenance	Road maintenance company	571 York Rd	West
White Oaks Resort	Resort/Spa/Conference	253 Taylor Rd	East-North-East
Niagara College	Educational Institution	135 Taylor Rd	East

## 4.0 – Interviews

### 4.1 – Interview with Professor

Our class interviewed Professor Katie Altoft, Environmental Management & Assessment Post-Graduate Program coordinator, about the site. Professor Altoft discussed with us what she knew about the history of the site.

### 4.2 - Interview with Director of Facilities Management Services

Professor Katie Altoft interviewed Mr. Ralph Scholz about the site. Information about the building and land was obtained from Mr. Scholz.

### 4.3 – Interviews with Building Tenants

No interviews were done with any of the building tenants.

### 4.4 – Interview with RCMP

Hamilton detachment of RCMP was interviewed about their former Niagara detachment at the location. Information was obtained.

### 4.5 – Interview with Other

No interviews were conducted with anybody else.

## 5.0 – Findings

The site has had and currently does have tenants who have in the past, and still do, dispose of hazardous materials on site, like pathological waste (Database Report, n.d.). Sanitary waste isn't mentioned in the ERIS report (Database Report, n.d.), but it is mentioned in the ESA and that it came from the building when Foster Wheeler owned it (Trimble, 2014). This all stopped in August 1997 (Trimble, 2014), which was around the time that the college bought the property. There is also a large, man-made hill that is not on the provincial topographical map but is on the NPCA topographical map. If this is a man-made hill formed by a former tenant or building owner, that would explain why the provincial government doesn't know about it, so that leads to questions, like *why was it formed?* And *it is concealing anything?*

## 6.0 – Conclusion

After taking into account the following information:

- college campus lagoons use to treat sanitary waste from the building when Foster Wheeler owned it (Trimble, 2014),

- no information about where that waste went afterwards (if it was moved at all),
- a large hill being on the property that the province isn't aware of (Make A Topographic Map, 2020); and
- water is flowing under the hill (Make A Topographic Map, 2020),

A Phase 2 ESA is recommended.

## 7.0 – References

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## 8.0 – Appendix

### 8.1 – Appendix A

The northwest corner of the NCBC.



A transformer on the west side of the building.



A separate small building for a diesel generator.



An HVAC system.



An electrical box and propane tank.



A fire hydrant.



The parking lot of the NCBC.



The south section of the parking lot that is filled with waste and materials that aren't being used.



A plastic drum with a metal lid that might be empty.



A large ditch south of the building.



A large hill that isn't supposed to be there.



A sampling well on top of the hill.



A large antenna and lamp post.



The front of the property.

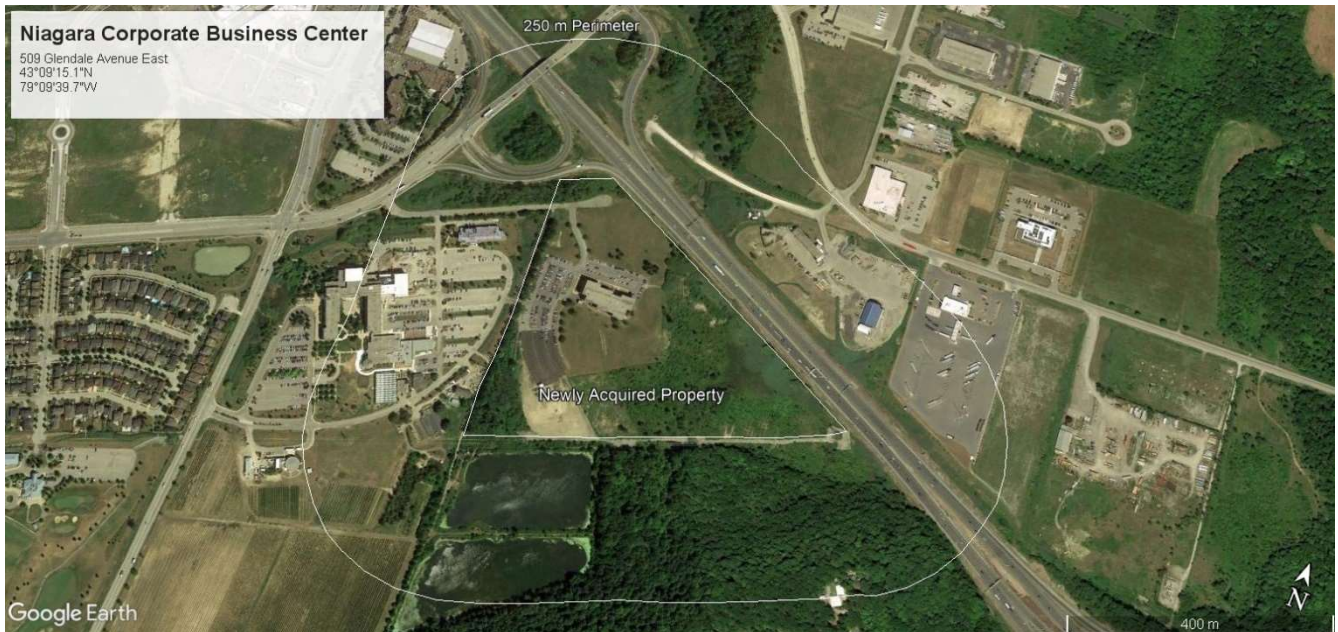


A photo of the tenants in the building. This was provided by Professor Altoft.



## 8.2 – Appendix B

An overhead view of the property with a 250-meter perimeter.



## 8.3 – Appendix C

A historical aerial photo of the location from 1934.



A historical aerial of the site from 1948.



A historical aerial photo of the site from 1954 and 1955.



A historical photo of the site from 1965.



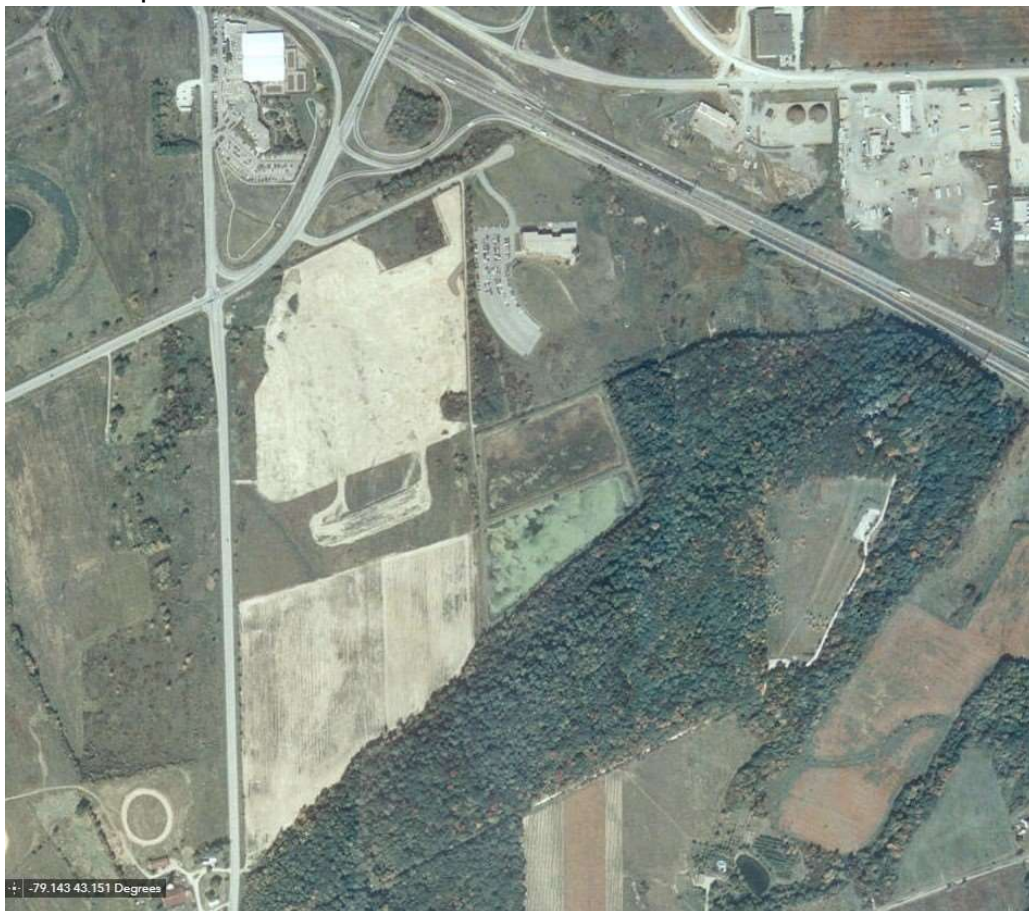
A historical photo of the site from 1968.



A historical photo of the site from 1969.



An aerial photo of the site from 1995.



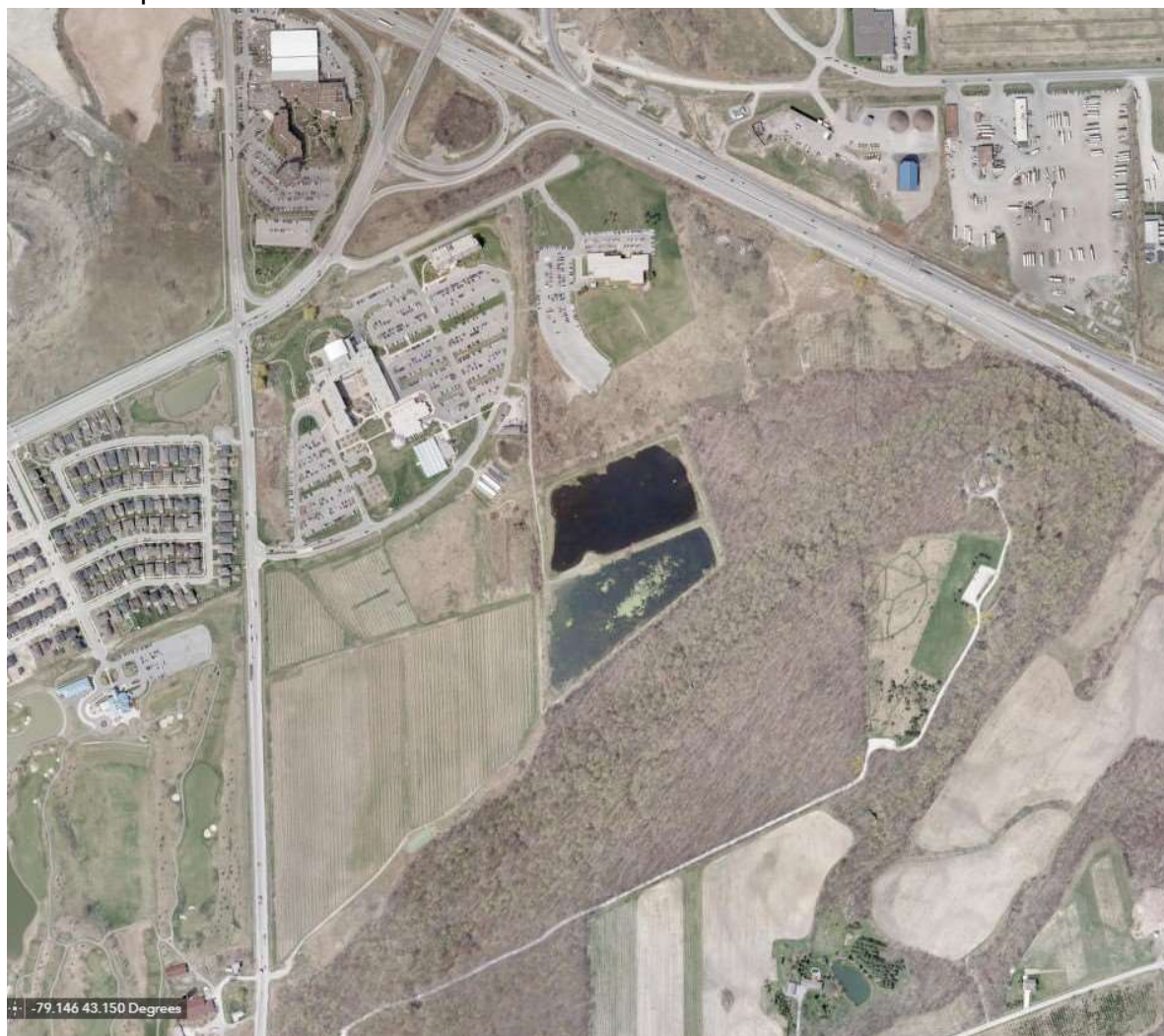
An aerial photo of the site from 2000.



An aerial photo of the site from 2002.



An aerial photo of the site from 2006.



An aerial photo of the site from 2010.



An aerial photo of the site from 2013.

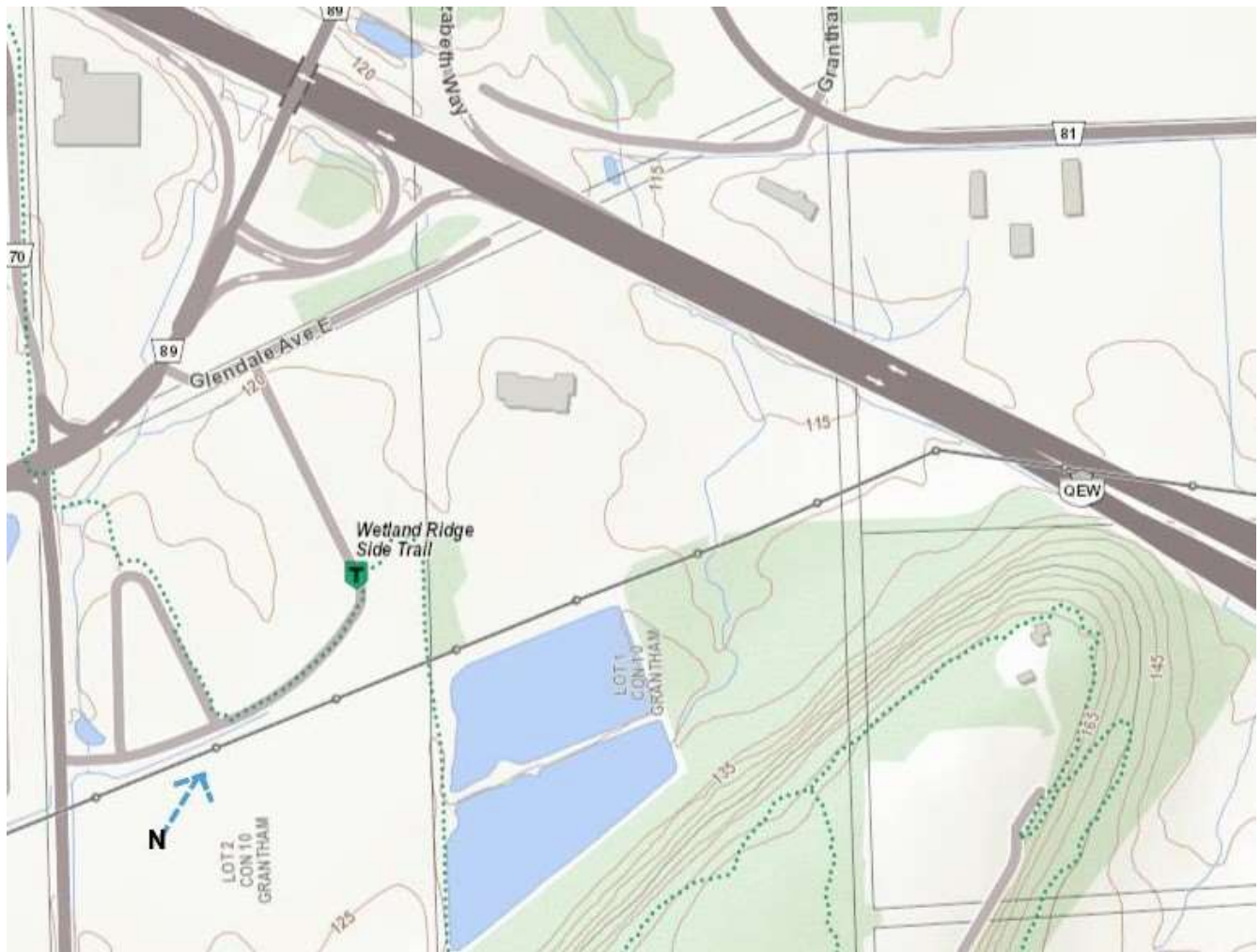


An aerial photo of the site from 2015.



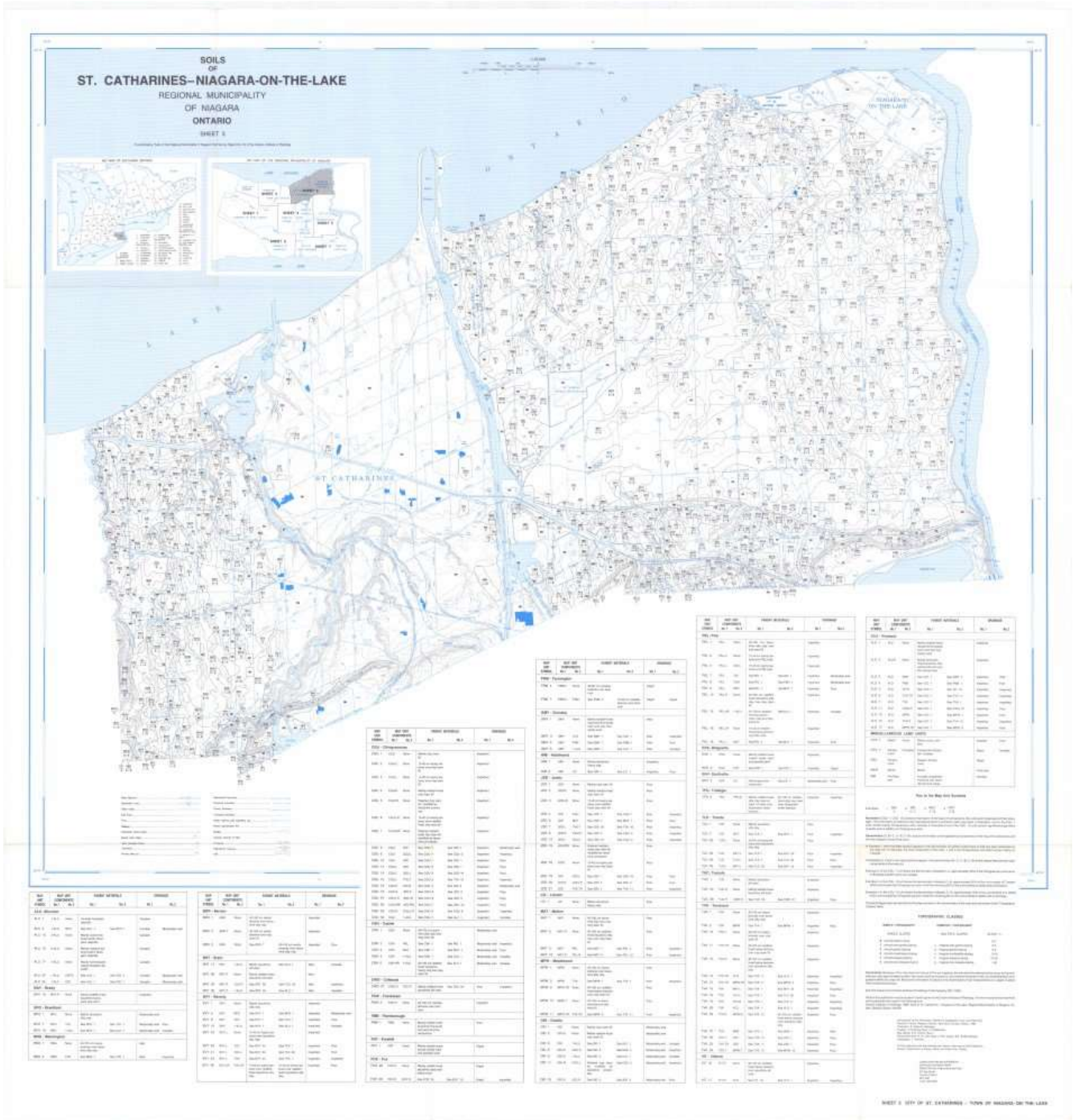
### 8.4 – Appendix D

A topographical map of the location that was made by the province.



### 8.5 – Appendix E

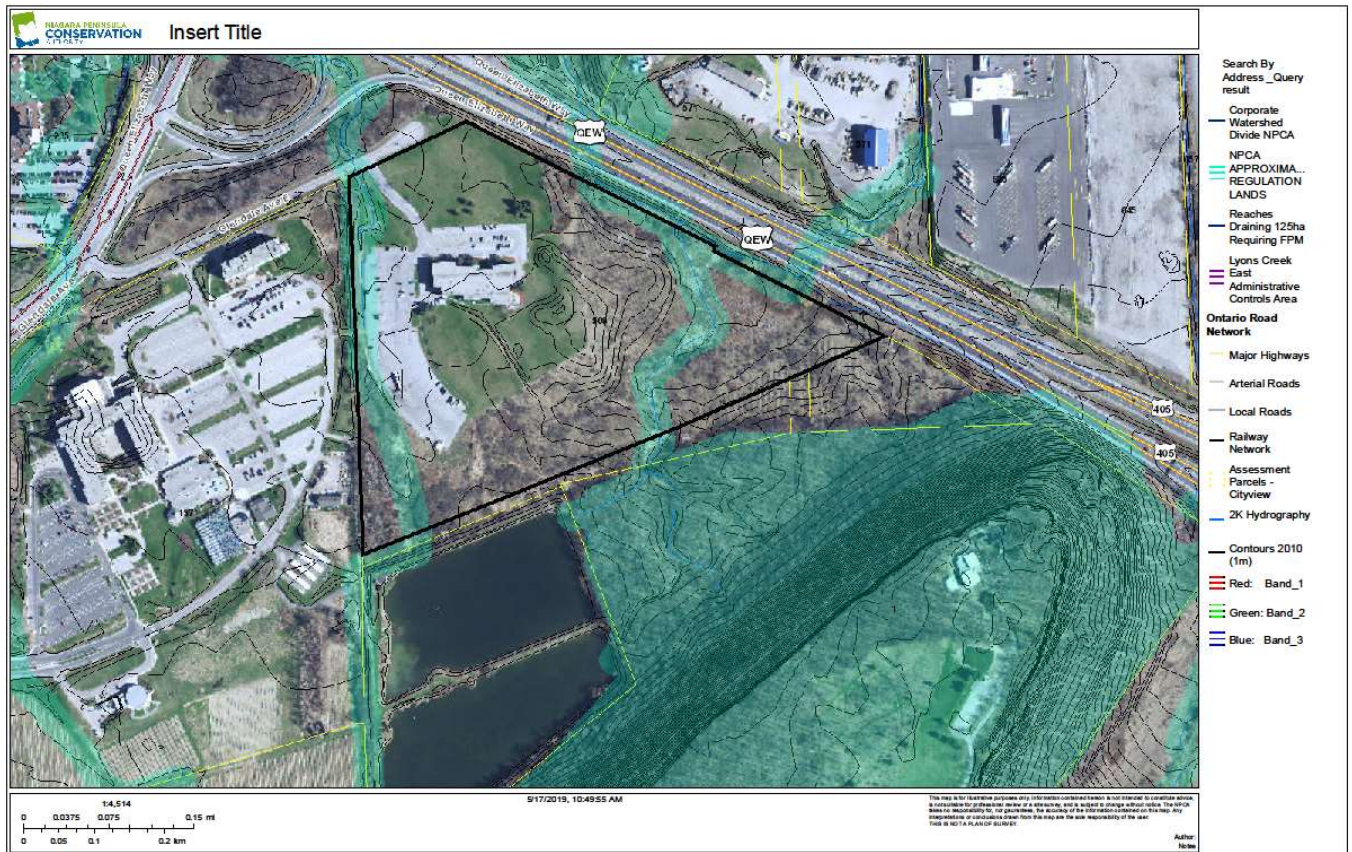
A map of the various soil types in St. Catharines and Niagara-on-the-Lake.





## 8.7 – Appendix G

A topographical map made by the NPCA.



## 8.8 – Appendix H

A title search of the address for the site.



Ontario ServiceOntario

LAND  
REGISTRY  
OFFICE #30  
46357-0010 (LT)  
\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

PAGE 1 OF 2  
PREPARED FOR ESTEFANIA  
ON 2019/10/21 AT 10:32:44

PROPERTY DESCRIPTION: PT PDAL BTN TOWNSHIP OF GRANTHAM & TOWNSHIP OF NIAGARA CLOSED BY R0386579 AS IN R0403337; PT LT 1 CON 10 GRANTHAM; PT TWP LT 182 NIAGARA PT 2 & 6 30R1487 T/W R0750546; S/T R0378567; NIAGARA-ON-THE-LAKE

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE  
LT CONVERSION QUALIFIED

DESCRIPTIVE:

RE-ENTRY FROM 46357-0097

FIN CREATION DATE:

2004/02/23

OWNERS' NAMES:

THE NIAGARA COLLEGE OF APPLIED ARTS AND TECHNOLOGY

CAPACITY SHARE:

ROWN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
** PRINTOUT		INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 2004/02/20 **				
**SUBJECT,		ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:				
**		SUBSECTION 4(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES * AND ESCHEATS OR FORFEITURE TO THE CROWN.				
**		THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY CONVENTION.				
**		ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.				
**DATE OF CONVERSION TO		LAND TITLES: 2004/02/23 **				
R0126973	1965/09/01	BYLAW				C
		REMARKS: AMENDING BYLAW 1160				
30R1487	1976/01/12	PLAN REFERENCE				C
30R2298	1978/05/02	PLAN REFERENCE				C
R0378567	1978/05/31	AGREEMENT			THE CORPORATION OF THE TOWN OF NIAGARA -ON-THE-LAKE	C
		REMARKS: SKETCH ATTACHED.				
R0703316	1955/11/17	LEASE		*** COMPLETELY DELETED ***		
R0749492	1998/12/17	NOTICE OF LEASE		*** DELETED AGAINST THIS PROPERTY *** FOSTER WHEELER LIMITED	COMMUNITY CARE ACCESS CENTRE NIAGARA	
R0750546	1999/01/27	TRANSFER		*** DELETED AGAINST THIS PROPERTY *** FOSTER WHEELER LIMITED	TRIVIERI INVESTMENTS LIMITED	

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



Ontario ServiceOntario

LAND  
REGISTRY  
OFFICE #30  
46357-0010 (LT)  
\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

PAGE 2 OF 2  
PREPARED FOR ESTEFANIA  
ON 2019/10/21 AT 10:32:44

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
		REMARKS: RE: CORRECTING DESCRIPTION	TOG. WITH EASE. OVER PFS 1 & 2 ON 30R555			
R0750547	1999/01/27	NOTICE OF LEASE		*** DELETED AGAINST THIS PROPERTY *** TRIVIERI INVESTMENTS LIMITED	FOSTER WHEELER LIMITED	
R0750548	1999/01/27	CHARGE		*** DELETED AGAINST THIS PROPERTY *** TRIVIERI INVESTMENTS LIMITED	CIBC MORTGAGES INC.	
R0750549	1999/01/27	NOTICE		*** DELETED AGAINST THIS PROPERTY *** TRIVIERI INVESTMENTS LIMITED	CIBC MORTGAGES INC.	
		REMARKS: RE: CHARGE R0750548				
R0750550	1999/01/27	ASSIGNMENT LEASE		*** DELETED AGAINST THIS PROPERTY *** TRIVIERI INVESTMENTS LIMITED	CIBC MORTGAGES INC.	
		REMARKS: RE: R0703316, R0749492, R0750547 DELETED UNDER NR345231 ON JULY 5/16 BY DWGNG				
R0762448	1999/12/13	AGREEMENT		FOSTER WHEELER LIMITED	TRIVIERI INVESTMENTS LIMITED	C
R0784971	2001/09/06	AGREEMENT		THE CORPORATION OF THE TOWN OF NIAGARA-ON-THE-LAKE	TRIVIERI INVESTMENTS LIMITED	C
NR255464	2010/11/16	NOTICE OF LEASE		*** COMPLETELY DELETED *** HER MAJESTY THE QUEEN IN RIGHT OF CANADA	TRIVIERI INVESTMENTS LIMITED	
NR349231	2014/04/04	DISCH OF CHARGE		*** COMPLETELY DELETED *** CIBC MORTGAGES INC.		
		REMARKS: R0750548.				
NR515179	2019/07/08	APL (GENERAL)		*** COMPLETELY DELETED *** TRIVIERI INVESTMENTS LIMITED		
		REMARKS: R0703316, R0749492, R0750547, NR255464				
NR519231	2019/08/23	TRANSFER		TRIVIERI INVESTMENTS LIMITED	THE NIAGARA COLLEGE OF APPLIED ARTS AND TECHNOLOGY	C
		REMARKS: PLANNING ACT STATEMENTS.				

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

**PROPERTY DESCRIPTION:** PT RDAL BTN TOWNSHIP OF GRANTHAM & TOWNSHIP OF NIAGARA CLOSED BY R0386579 AS IN R0403337; PT LT 1 CON 10 GRANTHAM; PT TWP LT 182 NIAGARA PT 2 & 6 30R1487 T/W R0750546; S/T R0378567; NIAGARA-ON-THE-LAKE

**PROPERTY REMARKS:**

**ESTATE/QUALIFIER:** RECENTLY  
**FEE SIMPLE** RE-ENTRY FROM 46357-0097  
**LT CONVERSION QUALIFIED**

**FIN CREATION DATE:**  
2004/02/23

**OWNERS' NAMES** **CAPACITY SHARE**  
THE NIAGARA COLLEGE OF APPLIED ARTS AND TECHNOLOGY ROWN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CHRG/CHKD
** PRINTOUT INCLUDES ALL DOCUMENT TYPES (DELETED INSTRUMENTS NOT INCLUDED) **						
**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:						
** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *						
** AND ESCHEATS OR FORFEITURE TO THE CROWN.						
** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF						
** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY						
** CONVENTION.						
** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.						
**DATE OF CONVERSION TO LAND TITLES: 2004/02/23 **						
R0126973	1965/09/01	BYLAW				C
REMARKS: AMENDING BYLAW 1160						
30R1487	1976/01/12	PLAN REFERENCE				C
30R2298	1978/05/02	PLAN REFERENCE				C
R0378567	1978/05/31	AGREEMENT			THE CORPORATION OF THE TOWN OF NIAGARA -ON-THE-LAKE	C
REMARKS: SKETCH ATTACHED.						
R0762448	1999/12/13	AGREEMENT		FOSTER WHEELER LIMITED	TRIVIERI INVESTMENTS LIMITED	C
R0784971	2001/09/06	AGREEMENT		THE CORPORATION OF THE TOWN OF NIAGARA-ON-THE-LAKE	TRIVIERI INVESTMENTS LIMITED	C
NR519231	2019/08/23	TRANSFER		TRIVIERI INVESTMENTS LIMITED	THE NIAGARA COLLEGE OF APPLIED ARTS AND TECHNOLOGY	C
REMARKS: PLANNING ACT STATEMENTS.						

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

## 8.9 – Appendix I

The ERIS report.



**Project Property:** 509 Glendale Avenue East  
509 Glendale Avenue East  
Niagara-on-the-Lake ON L2H 0H5  
**Project No:** SCT196147  
**Report Type:** Standard Report  
**Order No:** 20190417048

**Environmental Risk Information Services**  
A division of Glacier Media Inc.  
1.866.517.5204 | info@erisinfo.com | erisinfo.com

## Table of Contents

Table of Contents.....	2
Executive Summary.....	3
Executive Summary: Report Summary.....	4
Executive Summary: Site Report Summary - Project Property.....	6
Executive Summary: Site Report Summary - Surrounding Properties.....	7
Executive Summary: Summary By Data Source.....	10
Map.....	14
Aerial.....	15
Topographic Map.....	16
Detail Report.....	17
Unplottable Summary.....	31
Unplottable Report.....	32
Appendix: Database Descriptions.....	39
Definitions.....	48

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## Executive Summary

### Property Information:

**Project Property:** *509 Glendale Avenue East  
509 Glendale Avenue East Niagara-on-the-Lake ON L2H 0H5*

**Project No:** *SCT196147*

### **Coordinates:**

**Latitude:** *43.154243*  
**Longitude:** *-79.161316*  
**UTM Northing:** *4,779,584.41*  
**UTM Easting:** *649,494.41*  
**UTM Zone:** *UTM Zone 17T*

**Elevation:** *393 FT  
119.81 M*

## Executive Summary: Report Summary

<i>Database</i>	<i>Name</i>	<i>Searched</i>	<i>Project Property</i>	<i>Within 0.25 km</i>	<i>Total</i>
AAGR	<i>Abandoned Aggregate Inventory</i>	Y	0	0	0
AGR	<i>Aggregate Inventory</i>	Y	0	0	0
AMIS	<i>Abandoned Mine Information System</i>	Y	0	0	0
ANDR	<i>Anderson's Waste Disposal Sites</i>	Y	0	0	0
AUWR	<i>Automobile Wrecking &amp; Supplies</i>	Y	0	0	0
BORE	<i>Borehole</i>	Y	0	1	1
CA	<i>Certificates of Approval</i>	Y	0	0	0
CFOT	<i>Commercial Fuel Oil Tanks</i>	Y	0	0	0
CHEM	<i>Chemical Register</i>	Y	0	0	0
CNG	<i>Compressed Natural Gas Stations</i>	Y	0	0	0
COAL	<i>Inventory of Coal Gasification Plants and Coal Tar Sites</i>	Y	0	0	0
CONV	<i>Compliance and Convictions</i>	Y	0	0	0
CPU	<i>Certificates of Property Use</i>	Y	0	0	0
DRL	<i>Drill Hole Database</i>	Y	0	0	0
DRYCLEANERS	<i>Dry Cleaning Facilities</i>	Y	0	0	0
EASR	<i>Environmental Activity and Sector Registry</i>	Y	0	0	0
EBR	<i>Environmental Registry</i>	Y	0	0	0
ECA	<i>Environmental Compliance Approval</i>	Y	0	0	0
EEM	<i>Environmental Effects Monitoring</i>	Y	0	0	0
EHS	<i>ERIS Historical Searches</i>	Y	0	0	0
EIIS	<i>Environmental Issues Inventory System</i>	Y	0	0	0
EMHE	<i>Emergency Management Historical Event</i>	Y	0	0	0
EXP	<i>List of TSSA Expired Facilities</i>	Y	0	0	0
FCON	<i>Federal Convictions</i>	Y	0	0	0
FCS	<i>Contaminated Sites on Federal Land</i>	Y	0	0	0
FOFT	<i>Fisheries &amp; Oceans Fuel Tanks</i>	Y	0	0	0
FST	<i>Fuel Storage Tank</i>	Y	0	0	0
FSTH	<i>Fuel Storage Tank - Historic</i>	Y	0	0	0
GEN	<i>Ontario Regulation 347 Waste Generators Summary</i>	Y	0	11	11
GHG	<i>Greenhouse Gas Emissions from Large Facilities</i>	Y	0	0	0
HINC	<i>TSSA Historic Incidents</i>	Y	0	0	0
IAFT	<i>Indian &amp; Northern Affairs Fuel Tanks</i>	Y	0	0	0
INC	<i>TSSA Incidents</i>	Y	0	0	0
LIMO	<i>Landfill Inventory Management Ontario</i>	Y	0	0	0
MINE	<i>Canadian Mine Locations</i>	Y	0	0	0
MISA PENALTY	<i>Environmental Penalty Annual Report</i>	Y	0	0	0

<i>Database</i>	<i>Name</i>	<i>Searched</i>	<i>Project Property</i>	<i>Within 0.25 km</i>	<i>Total</i>
MNR	<i>Mineral Occurrences</i>	Y	0	0	0
NATE	<i>National Analysis of Trends in Emergencies System (NATES)</i>	Y	0	0	0
NCPL	<i>Non-Compliance Reports</i>	Y	0	0	0
NDFT	<i>National Defense &amp; Canadian Forces Fuel Tanks</i>	Y	0	0	0
NDSP	<i>National Defense &amp; Canadian Forces Spills</i>	Y	0	0	0
NDWD	<i>National Defence &amp; Canadian Forces Waste Disposal Sites</i>	Y	0	0	0
NEBI	<i>National Energy Board Pipeline Incidents</i>	Y	0	0	0
NEBW	<i>National Energy Board Wells</i>	Y	0	0	0
NEES	<i>National Environmental Emergencies System (NEES)</i>	Y	0	0	0
NPCB	<i>National PCB Inventory</i>	Y	0	0	0
NPRI	<i>National Pollutant Release Inventory</i>	Y	0	0	0
OGW	<i>Oil and Gas Wells</i>	Y	0	0	0
OOGW	<i>Ontario Oil and Gas Wells</i>	Y	0	0	0
OPCB	<i>Inventory of PCB Storage Sites</i>	Y	0	0	0
ORD	<i>Orders</i>	Y	0	0	0
PAP	<i>Canadian Pulp and Paper</i>	Y	0	1	1
PCFT	<i>Parks Canada Fuel Storage Tanks</i>	Y	0	0	0
PES	<i>Pesticide Register</i>	Y	0	0	0
PINC	<i>TSSA Pipeline Incidents</i>	Y	0	0	0
PRT	<i>Private and Retail Fuel Storage Tanks</i>	Y	0	0	0
PTTW	<i>Permit to Take Water</i>	Y	0	0	0
REC	<i>Ontario Regulation 347 Waste Receivers Summary</i>	Y	0	0	0
RSC	<i>Record of Site Condition</i>	Y	0	0	0
RST	<i>Retail Fuel Storage Tanks</i>	Y	0	0	0
SCT	<i>Scott's Manufacturing Directory</i>	Y	0	11	11
SPL	<i>Ontario Spills</i>	Y	0	2	2
SRDS	<i>Wastewater Discharger Registration Database</i>	Y	0	0	0
TANK	<i>Anderson's Storage Tanks</i>	Y	0	0	0
TCFT	<i>Transport Canada Fuel Storage Tanks</i>	Y	0	0	0
VAR	<i>TSSA Variances for Abandonment of Underground Storage Tanks</i>	Y	0	1	1
WDS	<i>Waste Disposal Sites - MOE CA Inventory</i>	Y	0	0	0
WDSH	<i>Waste Disposal Sites - MOE 1991 Historical Approval Inventory</i>	Y	0	0	0
WWIS	<i>Water Well Information System</i>	Y	0	1	1
<b>Total:</b>			0	28	28

## Executive Summary: Site Report Summary - Project Property

<i>Map Key</i>	<i>DB</i>	<i>Company/Site Name</i>	<i>Address</i>	<i>Dir/Dist (m)</i>	<i>Elev diff (m)</i>	<i>Page Number</i>
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No records found in the selected databases for the project property.

## Executive Summary: Site Report Summary - Surrounding Properties

<i>Map Key</i>	<i>DB</i>	<i>Company/Site Name</i>	<i>Address</i>	<i>Dir/Dist (m)</i>	<i>Elev Diff (m)</i>	<i>Page Number</i>
<a href="#">1</a>	GEN	FOSTER WHEELER LTD. 15-660	509 GLENDALE AVENUE NIAGARA-ON-THE-LAKE ON L0S 1J0	E/143.5	-2.23	<a href="#">17</a>
<a href="#">1</a>	GEN	FOSTER WHEELER LTD.	509 GLENDALE AVENUE NIAGARA-ON-THE-LAKE ON L0S 1J0	E/143.5	-2.23	<a href="#">17</a>
<a href="#">1</a>	GEN	FOSTER WHEELER CANADA LTD	1-509 GLENDALE AVENUE EAST NIAGARA-ON-THE-LAKE ON	E/143.5	-2.23	<a href="#">18</a>
<a href="#">1</a>	GEN	ParaMed Home Health Care	509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	E/143.5	-2.23	<a href="#">18</a>
<a href="#">1</a>	GEN	ParaMed Home Health Care	509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	E/143.5	-2.23	<a href="#">18</a>
<a href="#">1</a>	GEN	ParaMed Home Health Care	509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	E/143.5	-2.23	<a href="#">18</a>
<a href="#">1</a>	GEN	ParaMed Home Health Care	509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON	E/143.5	-2.23	<a href="#">19</a>
<a href="#">1</a>	GEN	ParaMed Home Health Care	509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	E/143.5	-2.23	<a href="#">19</a>
<a href="#">1</a>	GEN	ParaMed Home Health Care	509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	E/143.5	-2.23	<a href="#">19</a>
<a href="#">1</a>	GEN	ParaMed Home Health Care	509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	E/143.5	-2.23	<a href="#">20</a>
<a href="#">1</a>	GEN	ParaMed Home Health Care	509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	E/143.5	-2.23	<a href="#">20</a>
<a href="#">1</a>	PAP	Firing Industries Ltd.	509 Glendale Ave E Suite 301 Niagara-onthe-Lake ON L0S 1J0	E/143.5	-2.23	<a href="#">20</a>

<i>Map Key</i>	<i>DB</i>	<i>Company/Site Name</i>	<i>Address</i>	<i>Dir/Dist (m)</i>	<i>Elev Diff (m)</i>	<i>Page Number</i>
<a href="#">1</a>	SCT	FOSTER WHEELER LIMITED	509 GLENDALE AVE E NIAGARA-ON-LAKE ON L0S 1J0	E/143.5	-2.23	<a href="#">20</a>
<a href="#">1</a>	SCT	FOSTER WHEELER LIMITED	509 GLENDALE AVE NIAGARA-ON-LAKE ON L2R 7B7	E/143.5	-2.23	<a href="#">21</a>
<a href="#">1</a>	SCT	FIRING INDUSTRIES LTD.	509 GLENDALE AVE RR 4 NIAGARA-ON-LAKE ON L2R 7P7	E/143.5	-2.23	<a href="#">21</a>
<a href="#">1</a>	SCT	Foster Wheeler Limited - Industrial Products Division	509 Glendale Ave E RR 4 Niagara-on-Lake ON L0S 1J0	E/143.5	-2.23	<a href="#">22</a>
<a href="#">1</a>	SCT	Foster Wheeler Limited - Industrial Products Division	509 Glendale Ave RR 4 Niagara-on-Lake ON L0S 1J0	E/143.5	-2.23	<a href="#">22</a>
<a href="#">1</a>	SCT	Foster Wheeler Canada Ltd. -	509 Glendale Ave SS 4 Niagara-on-the-Lake ON L0S 1J0	E/143.5	-2.23	<a href="#">22</a>
<a href="#">1</a>	SCT	Perfect Circle Piston Rings	509 Glendale Ave Suite 305 Niagara-on-the-Lake ON L0S 1J0	E/143.5	-2.23	<a href="#">22</a>
<a href="#">1</a>	SCT	Victor Reinz Gaskets	509 Glendale Ave Suite 305 Niagara-on-the-Lake ON L0S 1J0	E/143.5	-2.23	<a href="#">23</a>
<a href="#">1</a>	SCT	Firing Industries Ltd.	509 Glendale Ave Suite 301 SS 4 Niagara-on-the-Lake ON L0S 1J0	E/143.5	-2.23	<a href="#">23</a>
<a href="#">1</a>	SCT	The Olfa Products Group	206-509 Glendale Ave Niagara-On-The-Lake ON L0S 1J0	E/143.5	-2.23	<a href="#">23</a>
<a href="#">1</a>	SCT	Elementa Group Inc.	509 Glendale Ave Suite 302 Niagara-On-The-Lake ON L0S 1J0	E/143.5	-2.23	<a href="#">24</a>
<a href="#">1</a>	SPL	Triviera Investments<UNOFFICIAL>	509 glendale Ave e Niagara-on-the-Lake ON	E/143.5	-2.23	<a href="#">24</a>
<a href="#">1</a>	VAR	FOSTER WHEELER LTD	509 GLENDALE AVE RR 4 NIAGARA ON THE LAKE ON L0S 1J0	E/143.5	-2.23	<a href="#">25</a>

<i>Map Key</i>	<i>DB</i>	<i>Company/Site Name</i>	<i>Address</i>	<i>Dir/Dist (m)</i>	<i>Elev Diff (m)</i>	<i>Page Number</i>
<a href="#">2</a>	BORE		ON	NE/189.1	-4.90	<a href="#">25</a>
<a href="#">3</a>	SPL	TRANSPORT TRUCK	ON THE QEW WESTBOUND EXIT RAMP TO GLENDALE AVENUE. MOTOR VEHICLE (OPERATING FLUID) ST. CATHARINES CITY ON	N/222.4	-3.97	<a href="#">25</a>
<a href="#">4</a>	WWIS		Niagara-on-the-Lake ON <b>Well ID:</b> 7226318	SW/224.5	0.74	<a href="#">26</a>

## Executive Summary: Summary By Data Source

### **BORE - Borehole**

A search of the BORE database, dated 1875-Jul 2014 has found that there are 1 BORE site(s) within approximately 0.25 kilometers of the project property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (m)</u>	<u>Map Key</u>
	ON	NE	189.06	<a href="#">2</a>

### **GEN - Ontario Regulation 347 Waste Generators Summary**

A search of the GEN database, dated 1986-Dec 31, 2018 has found that there are 11 GEN site(s) within approximately 0.25 kilometers of the project property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (m)</u>	<u>Map Key</u>
ParaMed Home Health Care	509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	E	143.51	<a href="#">1</a>
ParaMed Home Health Care	509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	E	143.51	<a href="#">1</a>
ParaMed Home Health Care	509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON	E	143.51	<a href="#">1</a>
ParaMed Home Health Care	509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	E	143.51	<a href="#">1</a>
ParaMed Home Health Care	509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	E	143.51	<a href="#">1</a>
FOSTER WHEELER LTD. 15-660	509 GLENDALE AVENUE NIAGARA-ON-THE-LAKE ON L0S 1J0	E	143.51	<a href="#">1</a>
FOSTER WHEELER CANADA LTD	1-509 GLENDALE AVENUE EAST NIAGARA-ON-THE-LAKE ON	E	143.51	<a href="#">1</a>

FOSTER WHEELER LTD.	509 GLENDALE AVENUE NIAGARA-ON-THE-LAKE ON L0S 1J0	E	143.51	<a href="#">1</a>
ParaMed Home Health Care	509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	E	143.51	<a href="#">1</a>
ParaMed Home Health Care	509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	E	143.51	<a href="#">1</a>
ParaMed Home Health Care	509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	E	143.51	<a href="#">1</a>

### **PAP - Canadian Pulp and Paper**

A search of the PAP database, dated 1999, 2002, 2004, 2005, 2009-2014 has found that there are 1 PAP site(s) within approximately 0.25 kilometers of the project property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (m)</u>	<u>Map Key</u>
Firing Industries Ltd.	509 Glendale Ave E Suite 301 Niagara-on-the-Lake ON L0S 1J0	E	143.51	<a href="#">1</a>

### **SCT - Scott's Manufacturing Directory**

A search of the SCT database, dated 1992-Mar 2011\* has found that there are 11 SCT site(s) within approximately 0.25 kilometers of the project property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (m)</u>	<u>Map Key</u>
Elementa Group Inc.	509 Glendale Ave Suite 302 Niagara-On-The-Lke ON L0S 1J0	E	143.51	<a href="#">1</a>
The Olfa Products Group	206-509 Glendale Ave Niagara-On-The-Lke ON L0S 1J0	E	143.51	<a href="#">1</a>
Firing Industries Ltd.	509 Glendale Ave Suite 301 SS 4 Niagara-on-the-Lke ON L0S 1J0	E	143.51	<a href="#">1</a>
Victor Reinz Gaskets	509 Glendale Ave Suite 305 Niagara-on-the-Lke ON L0S 1J0	E	143.51	<a href="#">1</a>

Perfect Circle Piston Rings	509 Glendale Ave Suite 305 Niagara-on-the-Lake ON L0S 1J0	E	143.51	<a href="#">1</a>
Foster Wheeler Canada Ltd. -	509 Glendale Ave SS 4 Niagara-on-the-Lake ON L0S 1J0	E	143.51	<a href="#">1</a>
Foster Wheeler Limited - Industrial Products Division	509 Glendale Ave RR 4 Niagara-on-Lake ON L0S 1J0	E	143.51	<a href="#">1</a>
Foster Wheeler Limited - Industrial Products Division	509 Glendale Ave E RR 4 Niagara-on-Lake ON L0S 1J0	E	143.51	<a href="#">1</a>
FIRING INDUSTRIES LTD.	509 GLENDALE AVE RR 4 NIAGARA-ON-LAKE ON L2R 7P7	E	143.51	<a href="#">1</a>
FOSTER WHEELER LIMITED	509 GLENDALE AVE E NIAGARA-ON-LAKE ON L0S 1J0	E	143.51	<a href="#">1</a>
FOSTER WHEELER LIMITED	509 GLENDALE AVE NIAGARA-ON-LAKE ON L2R 7B7	E	143.51	<a href="#">1</a>

### **SPL - Ontario Spills**

A search of the SPL database, dated 1988-Dec 2018 has found that there are 2 SPL site(s) within approximately 0.25 kilometers of the project property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (m)</u>	<u>Map Key</u>
Triviera Investments<UNOFFICIAL>	509 glendale Ave e Niagara-on-the-Lake ON	E	143.51	<a href="#">1</a>
TRANSPORT TRUCK	ON THE QEW WESTBOUND EXIT RAMP TO GLENDALE AVENUE. MOTOR VEHICLE (OPERATING FLUID) ST. CATHARINES CITY ON	N	222.38	<a href="#">3</a>

### **VAR - TSSA Variances for Abandonment of Underground Storage Tanks**

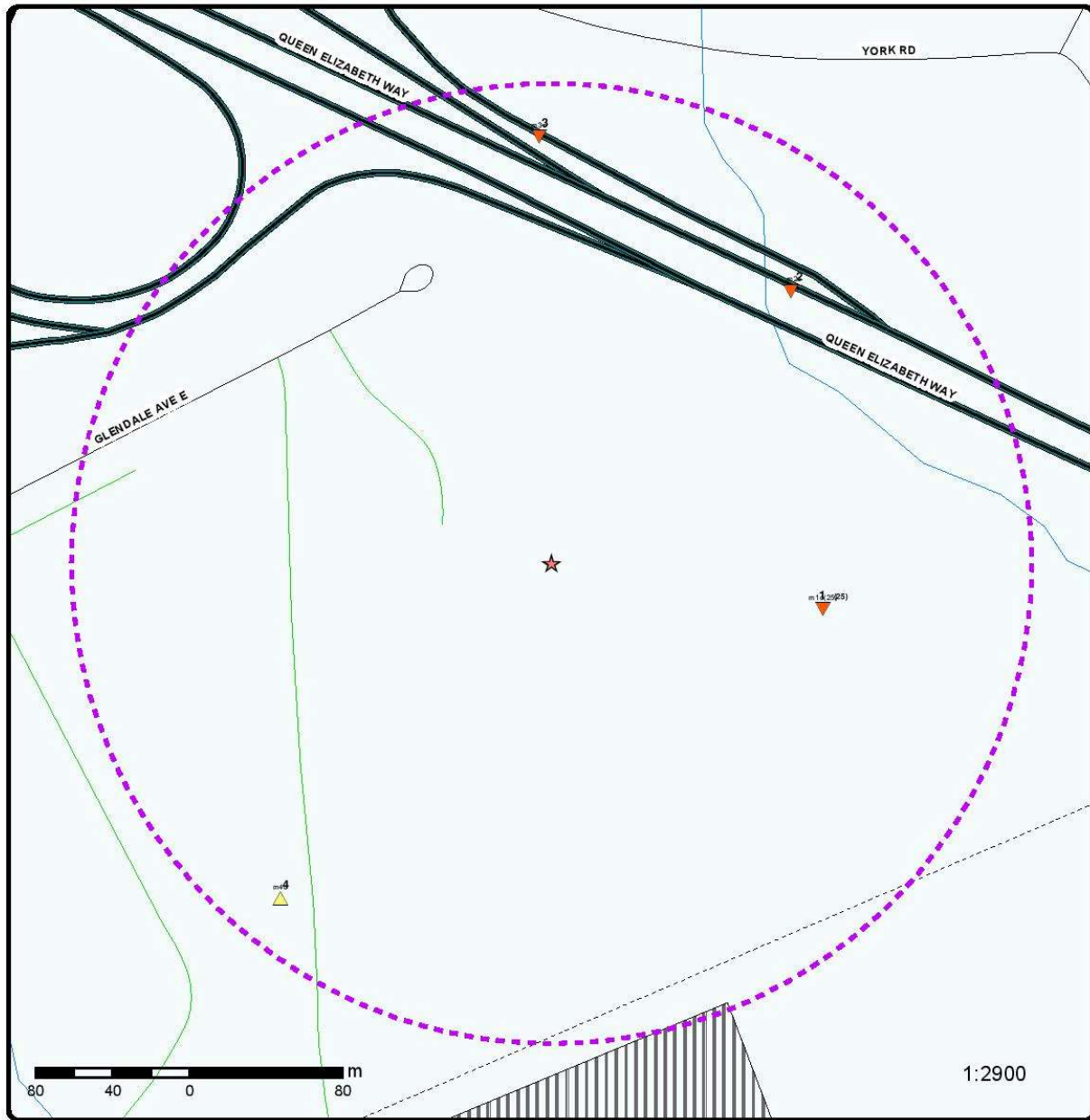
A search of the VAR database, dated Feb 28, 2017 has found that there are 1 VAR site(s) within approximately 0.25 kilometers of the project property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (m)</u>	<u>Map Key</u>
FOSTER WHEELER LTD	509 GLENDALE AVE RR 4 NIAGARA ON THE LAKE ON LOS 1J0	E	143.51	<a href="#">1</a>

### **WWIS - Water Well Information System**

A search of the WWIS database, dated Dec 31, 2017 has found that there are 1 WWIS site(s) within approximately 0.25 kilometers of the project property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (m)</u>	<u>Map Key</u>
	Niagara-on-the-Lake ON  <i>Well ID:</i> 7226318	SW	224.53	<a href="#">4</a>



**Map : 0.25 Kilometer Radius**

Order No: 20190417048

Address: 509 Glendale Avenue East, Niagara-on-the-Lake, ON, L2H 0H5



Project Property	Expressway	Industrial and Resource - Regions	National Park
Buffer Outline	Principal Highway	Main Line	Provincial or Territorial Park
Eris Sites with Higher Elevation	Secondary Highway	Sidetrack	Other Park
Eris Sites with Same Elevation	Major Road	Transit Line	Golf Course or Driving Range
Eris Sites with Lower Elevation	Local road	Abandoned Line	Park or Sports Field
Eris Sites with Unknown Elevation	Trail	Proposed Road	Other Recreation Area
	Proposed Road		
	Ferry Route/Ice Road		

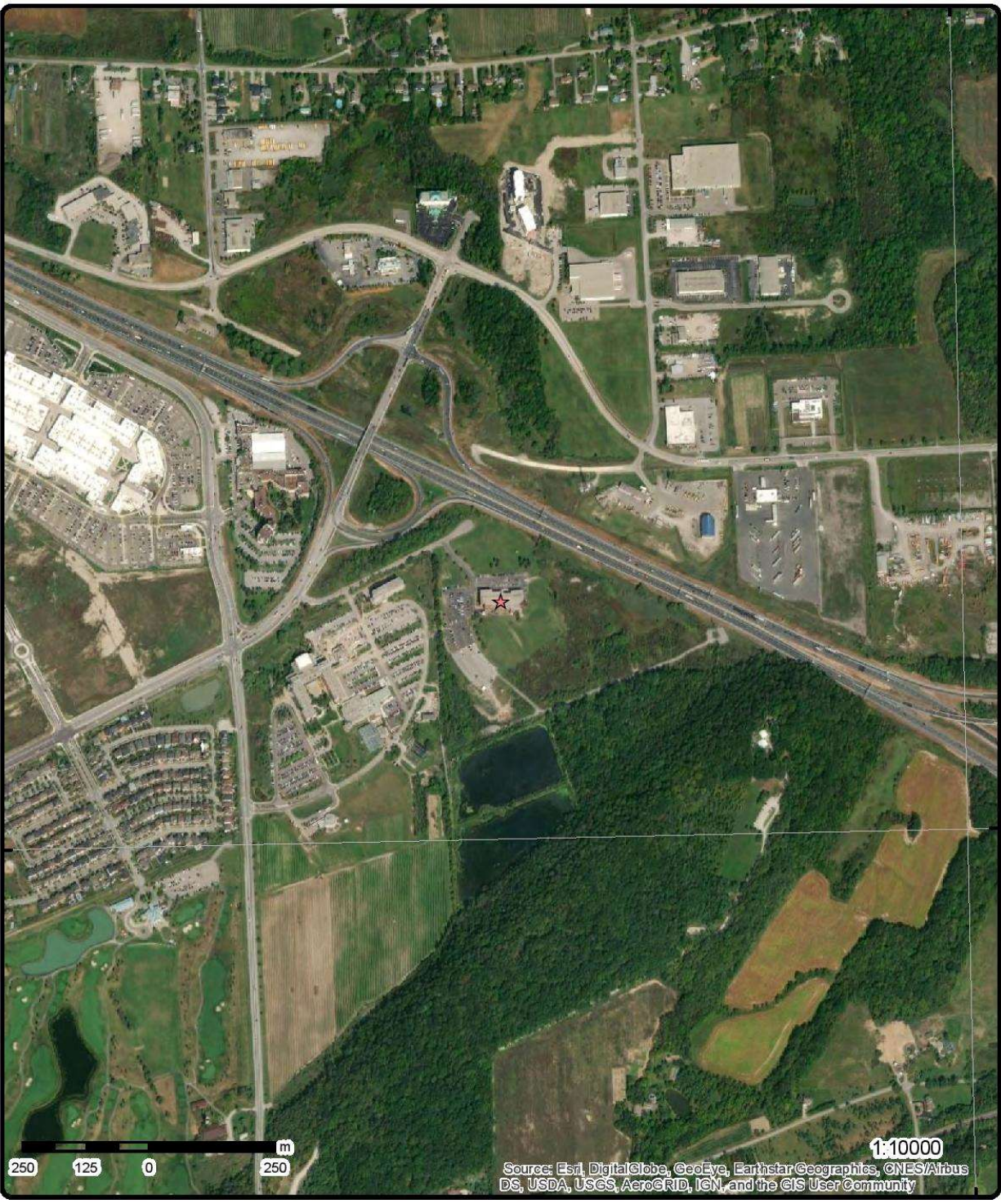
Source: © 2015 DMTI Spatial Inc.

© ERIS Information Limited Partnership

79° 9' W

43° 9' N

43° 9' N



### Aerial (2017)

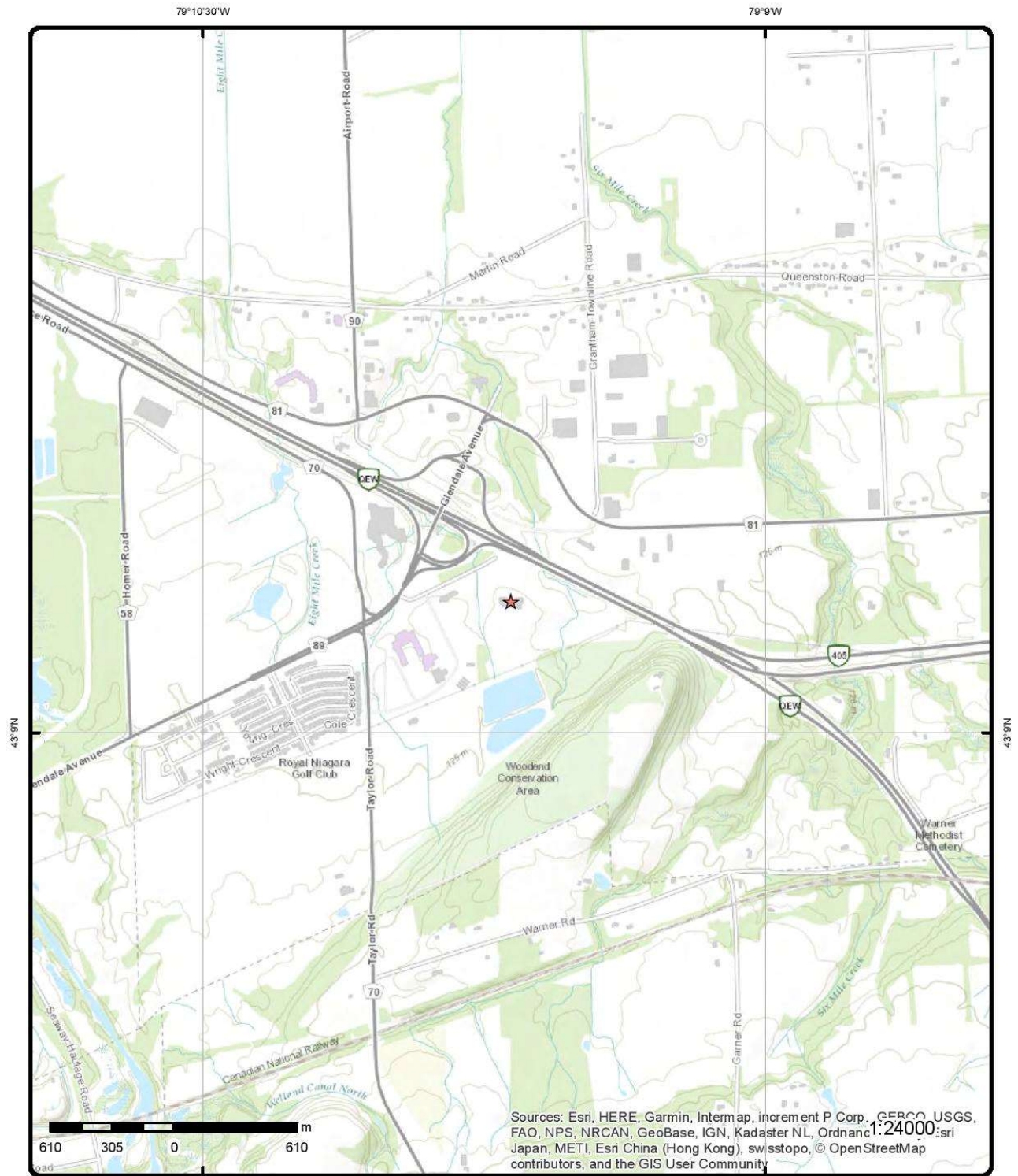
Order No: 20190417048

Address: 509 Glendale Avenue East, Niagara-on-the-Lake, ON, L2H 0H



Source: ESRI World Imagery

© ERIS Information Limited Partnership



# Topographic Map

Address: 509 Glendale Avenue East, Niagara-on-the-Lake, ON, L2H 0H

Source: ESRI World Topographic Map

Order No: 20190417048



© ERIS Information Limited Partnership

## Detail Report

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<u>1</u>	1 of 25	E/143.5	117.6 / -2.23	FOSTER WHEELER LTD. 15-660 509 GLENDALE AVENUE NIAGARA-ON-THE-LAKE ON L0S 1J0	GEN
<p><b>Generator No:</b> ON0418701      <b>PO Box No:</b></p> <p><b>Status:</b>      <b>Country:</b></p> <p><b>Approval Years:</b> 92,93,94,95,96      <b>Choice of Contact:</b></p> <p><b>Contam. Facility:</b>      <b>Co Admin:</b></p> <p><b>MHSW Facility:</b>      <b>Phone No Admin:</b></p> <p><b>SIC Code:</b> 3011</p> <p><b>SIC Description:</b> POWER BOILER, ETC.</p>					
<b>--Details--</b>					
<b>Waste Code:</b> 122					
<b>Waste Description:</b> ALKALINE WASTES - OTHER METALS					
<b>Waste Code:</b> 148					
<b>Waste Description:</b> INORGANIC LABORATORY CHEMICALS					
<b>Waste Code:</b> 213					
<b>Waste Description:</b> PETROLEUM DISTILLATES					
<b>Waste Code:</b> 263					
<b>Waste Description:</b> ORGANIC LABORATORY CHEMICALS					
<u>1</u>	2 of 25	E/143.5	117.6 / -2.23	FOSTER WHEELER LTD. 509 GLENDALE AVENUE NIAGARA-ON-THE-LAKE ON L0S 1J0	GEN
<p><b>Generator No:</b> ON0418701      <b>PO Box No:</b></p> <p><b>Status:</b>      <b>Country:</b></p> <p><b>Approval Years:</b> 97,98,99,00,01      <b>Choice of Contact:</b></p> <p><b>Contam. Facility:</b>      <b>Co Admin:</b></p> <p><b>MHSW Facility:</b>      <b>Phone No Admin:</b></p> <p><b>SIC Code:</b> 3011</p> <p><b>SIC Description:</b> POWER BOILER, ETC.</p>					
<b>--Details--</b>					
<b>Waste Code:</b> 213					
<b>Waste Description:</b> PETROLEUM DISTILLATES					
<b>Waste Code:</b> 122					
<b>Waste Description:</b> ALKALINE WASTES - OTHER METALS					
<b>Waste Code:</b> 148					
<b>Waste Description:</b> INORGANIC LABORATORY CHEMICALS					
<b>Waste Code:</b> 263					
<b>Waste Description:</b> ORGANIC LABORATORY CHEMICALS					

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<u>1</u>	3 of 25	E/143.5	117.6 / -2.23	FOSTER WHEELER CANADA LTD 1-509 GLENDALE AVENUE EAST NIAGARA-ON-THE-LAKE ON	GEN
<b>Generator No:</b>	ON2901535			<b>PO Box No:</b>	
<b>Status:</b>				<b>Country:</b>	
<b>Approval Years:</b>	06			<b>Choice of Contact:</b>	
<b>Contam. Facility:</b>				<b>Co Admin:</b>	
<b>MHSW Facility:</b>				<b>Phone No Admin:</b>	
<b>SIC Code:</b>	237990				
<b>SIC Description:</b>	Other Heavy and Civil Engineering Construction				
<b>--Details--</b>					
<b>Waste Code:</b>	112				
<b>Waste Description:</b>	ACID WASTE - HEAVY METALS				
<u>1</u>	4 of 25	E/143.5	117.6 / -2.23	ParaMed Home Health Care 509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	GEN
<b>Generator No:</b>	ON8870699			<b>PO Box No:</b>	
<b>Status:</b>				<b>Country:</b>	
<b>Approval Years:</b>	2010			<b>Choice of Contact:</b>	
<b>Contam. Facility:</b>				<b>Co Admin:</b>	
<b>MHSW Facility:</b>				<b>Phone No Admin:</b>	
<b>SIC Code:</b>	621610				
<b>SIC Description:</b>	Home Health Care Services				
<b>--Details--</b>					
<b>Waste Code:</b>	312				
<b>Waste Description:</b>	PATHOLOGICAL WASTES				
<u>1</u>	5 of 25	E/143.5	117.6 / -2.23	ParaMed Home Health Care 509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	GEN
<b>Generator No:</b>	ON8870699			<b>PO Box No:</b>	
<b>Status:</b>				<b>Country:</b>	
<b>Approval Years:</b>	2011			<b>Choice of Contact:</b>	
<b>Contam. Facility:</b>				<b>Co Admin:</b>	
<b>MHSW Facility:</b>				<b>Phone No Admin:</b>	
<b>SIC Code:</b>	621610				
<b>SIC Description:</b>	Home Health Care Services				
<b>--Details--</b>					
<b>Waste Code:</b>	312				
<b>Waste Description:</b>	PATHOLOGICAL WASTES				
<u>1</u>	6 of 25	E/143.5	117.6 / -2.23	ParaMed Home Health Care 509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	GEN
<b>Generator No:</b>	ON8870699			<b>PO Box No:</b>	
<b>Status:</b>				<b>Country:</b>	
<b>Approval Years:</b>	2012			<b>Choice of Contact:</b>	
<b>Contam. Facility:</b>				<b>Co Admin:</b>	
<b>MHSW Facility:</b>				<b>Phone No Admin:</b>	
<b>SIC Code:</b>	621610				

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<b>SIC Description:</b>		Home Health Care Services			
<b>--Details--</b>					
<b>Waste Code:</b>		312			
<b>Waste Description:</b>		PATHOLOGICAL WASTES			
<u>1</u>	7 of 25	E/143.5	117.6 / -2.23	ParaMed Home Health Care 509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON	GEN
<b>Generator No:</b>		ON8870699		<b>PO Box No:</b>	
<b>Status:</b>				<b>Country:</b>	
<b>Approval Years:</b>		2013		<b>Choice of Contact:</b>	
<b>Contam. Facility:</b>				<b>Co Admin:</b>	
<b>MHSW Facility:</b>				<b>Phone No Admin:</b>	
<b>SIC Code:</b>		621610			
<b>SIC Description:</b>					
<b>--Details--</b>					
<b>Waste Code:</b>		312			
<b>Waste Description:</b>		PATHOLOGICAL WASTES			
<u>1</u>	8 of 25	E/143.5	117.6 / -2.23	ParaMed Home Health Care 509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	GEN
<b>Generator No:</b>		ON8870699		<b>PO Box No:</b>	
<b>Status:</b>				<b>Country:</b> Canada	
<b>Approval Years:</b>		2016		<b>Choice of Contact:</b> CO_OFFICIAL	
<b>Contam. Facility:</b>		No		<b>Co Admin:</b>	
<b>MHSW Facility:</b>		No		<b>Phone No Admin:</b>	
<b>SIC Code:</b>		621610			
<b>SIC Description:</b>		621610			
<b>--Details--</b>					
<b>Waste Code:</b>		312			
<b>Waste Description:</b>		PATHOLOGICAL WASTES			
<u>1</u>	9 of 25	E/143.5	117.6 / -2.23	ParaMed Home Health Care 509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	GEN
<b>Generator No:</b>		ON8870699		<b>PO Box No:</b>	
<b>Status:</b>				<b>Country:</b> Canada	
<b>Approval Years:</b>		2015		<b>Choice of Contact:</b> CO_OFFICIAL	
<b>Contam. Facility:</b>		No		<b>Co Admin:</b>	
<b>MHSW Facility:</b>		No		<b>Phone No Admin:</b>	
<b>SIC Code:</b>		621610			
<b>SIC Description:</b>		621610			
<b>--Details--</b>					
<b>Waste Code:</b>		312			
<b>Waste Description:</b>		PATHOLOGICAL WASTES			

Map Key	Number of Records	Direction/Distance (m)	Elev/Diff (m)	Site	DB
<u>1</u>	10 of 25	E/143.5	117.6 / -2.23	ParaMed Home Health Care 509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	GEN
<p><b>Generator No:</b> ON8870699</p> <p><b>Status:</b></p> <p><b>Approval Years:</b> 2014</p> <p><b>Contam. Facility:</b> No</p> <p><b>MHSW Facility:</b> No</p> <p><b>SIC Code:</b> 621610</p> <p><b>SIC Description:</b> 621610</p> <p><b>PO Box No:</b></p> <p><b>Country:</b> Canada</p> <p><b>Choice of Contact:</b> CO_OFFICIAL</p> <p><b>Co Admin:</b></p> <p><b>Phone No Admin:</b></p> <p><b>--Details--</b></p> <p><b>Waste Code:</b> 312</p> <p><b>Waste Description:</b> PATHOLOGICAL WASTES</p>					
<u>1</u>	11 of 25	E/143.5	117.6 / -2.23	ParaMed Home Health Care 509 Glendale Aveue East Suite 200 Niagara-on-the-Lake ON L0S1J0	GEN
<p><b>Generator No:</b> ON8870699</p> <p><b>Status:</b> Registered</p> <p><b>Approval Years:</b> As of Dec 2018</p> <p><b>Contam. Facility:</b></p> <p><b>MHSW Facility:</b></p> <p><b>SIC Code:</b></p> <p><b>SIC Description:</b></p> <p><b>PO Box No:</b></p> <p><b>Country:</b> Canada</p> <p><b>Choice of Contact:</b></p> <p><b>Co Admin:</b></p> <p><b>Phone No Admin:</b></p> <p><b>--Details--</b></p> <p><b>Waste Code:</b> 312 P</p> <p><b>Waste Description:</b> Pathological wastes</p>					
<u>1</u>	12 of 25	E/143.5	117.6 / -2.23	Firing Industries Ltd. 509 Glendale Ave E Suite 301 Niagara-onthe-Lake ON L0S 1J0	PAP
<p><b>Company ID:</b> 146898857</p> <p><b>Status:</b> Active</p> <p><b>Type:</b> Head Office</p> <p><b>Operation:</b></p> <p><b>Status Desc:</b></p> <p><b>Effluent Pollution Control:</b></p> <p><b>Company Name:</b></p> <p><b>Division:</b></p> <p><b>Company Mailing Address:</b></p> <p><b>Mailing Address:</b> 509 Glendale Ave E, Suite 301, Niagara-onthe-Lake ON L0S 1J0</p> <p><b>Mill Mailing Address:</b></p> <p><b>Mill Notes:</b></p> <p><b>History:</b></p> <p><b>Company History:</b></p> <p><b>Year:</b> 2009</p> <p><b>Description:</b></p> <p><b>Website:</b></p>					
<u>1</u>	13 of 25	E/143.5	117.6 / -2.23	FOSTER WHEELER LIMITED 509 GLENDALE AVE E NIAGARA-ON-LAKE ON L0S 1J0	SCT
<p><b>Established:</b> 1926</p> <p><b>Plant Size (ft²):</b> 200000</p> <p><b>Employment:</b> 100</p>					

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<b>--Details--</b>					
<b>Description:</b>		HEATING EQUIPMENT, EXCEPT ELECTRIC AND WARM AIR FURNACES			
<b>SIC/NAICS Code:</b>		3433			
<b>Description:</b>		FABRICATED PLATE WORK (BOILER SHOPS)			
<b>SIC/NAICS Code:</b>		3443			
<b>Description:</b>		SPECIAL INDUSTRY MACHINERY, NOT ELSEWHERE CLASSIFIED			
<b>SIC/NAICS Code:</b>		3559			
<b>Description:</b>		INDUSTRIAL PROCESS FURNACES AND OVENS			
<b>SIC/NAICS Code:</b>		3567			
<b>Description:</b>		GENERAL INDUSTRIAL MACHINERY AND EQUIPMENT, NOT ELSEWHERE CLASSIFIED			
<b>SIC/NAICS Code:</b>		3569			
<b>Description:</b>		Power Boiler and Heat Exchanger Manufacturing			
<b>SIC/NAICS Code:</b>		332410			
<b>Description:</b>		Heating Equipment and Commercial Refrigeration Equipment Manufacturing			
<b>SIC/NAICS Code:</b>		333416			
<b>Description:</b>		All Other General-Purpose Machinery Manufacturing			
<b>SIC/NAICS Code:</b>		333990			
<u>1</u>	14 of 25	E/143.5	117.6 / -2.23	<b>FOSTER WHEELER LIMITED 509 GLENDALE AVE NIAGARA-ON-LAKE ON L2R 7B7</b>	<b>SCT</b>
<b>Established:</b>		1926			
<b>Plant Size (ft²):</b>		200000			
<b>Employment:</b>		100			
<b>--Details--</b>					
<b>Description:</b>		HEATING EQUIPMENT, EXCEPT ELECTRIC & WARM AIR FURNACES			
<b>SIC/NAICS Code:</b>		3433			
<b>Description:</b>		FABRICATED PLATE WORK (BOILER SHOPS)			
<b>SIC/NAICS Code:</b>		3443			
<b>Description:</b>		SPECIAL INDUSTRY MACHINERY, N.E.C.			
<b>SIC/NAICS Code:</b>		3559			
<b>Description:</b>		GENERAL INDUSTRIAL MACHINERY & EQUIPMENT, N.E.C.			
<b>SIC/NAICS Code:</b>		3569			
<u>1</u>	15 of 25	E/143.5	117.6 / -2.23	<b>FIRING INDUSTRIES LTD. 509 GLENDALE AVE RR 4 NIAGARA-ON-LAKE ON L2R 7P7</b>	<b>SCT</b>
<b>Established:</b>		1973			
<b>Plant Size (ft²):</b>		0			
<b>Employment:</b>		10			
<b>--Details--</b>					
<b>Description:</b>		INDUSTRIAL MACHINERY & EQUIPMENT			
<b>SIC/NAICS Code:</b>		5084			

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<u>1</u>	16 of 25	E/143.5	117.6 / -2.23	Foster Wheeler Limited - Industrial Products Division 509 Glendale Ave E RR 4 Niagara-on-Lake ON L0S 1J0	SCT
<b>Established:</b>		1926			
<b>Plant Size (ft²):</b>		200000			
<b>Employment:</b>		160			
<u>1</u>	17 of 25	E/143.5	117.6 / -2.23	Foster Wheeler Limited - Industrial Products Division 509 Glendale Ave RR 4 Niagara-on-Lake ON L0S 1J0	SCT
<b>Established:</b>		1926			
<b>Plant Size (ft²):</b>		40000			
<b>Employment:</b>		180			
<b>--Details--</b>					
<b>Description:</b>		Power Boiler and Heat Exchanger Manufacturing			
<b>SIC/NAICS Code:</b>		332410			
<b>Description:</b>		Heating Equipment and Commercial Refrigeration Equipment Manufacturing			
<b>SIC/NAICS Code:</b>		333416			
<b>Description:</b>		All Other General-Purpose Machinery Manufacturing			
<b>SIC/NAICS Code:</b>		333990			
<b>Description:</b>		Industrial Machinery, Equipment and Supplies Wholesaler-Distributors			
<b>SIC/NAICS Code:</b>		417230			
<u>1</u>	18 of 25	E/143.5	117.6 / -2.23	Foster Wheeler Canada Ltd. - 509 Glendale Ave SS 4 Niagara-on-the-Lake ON L0S 1J0	SCT
<b>Established:</b>		1926			
<b>Plant Size (ft²):</b>		40000			
<b>Employment:</b>		130			
<b>--Details--</b>					
<b>Description:</b>		Power Boiler and Heat Exchanger Manufacturing			
<b>SIC/NAICS Code:</b>		332410			
<b>Description:</b>		Heating Equipment and Commercial Refrigeration Equipment Manufacturing			
<b>SIC/NAICS Code:</b>		333416			
<b>Description:</b>		All Other General-Purpose Machinery Manufacturing			
<b>SIC/NAICS Code:</b>		333990			
<b>Description:</b>		Industrial Machinery, Equipment and Supplies Wholesaler-Distributors			
<b>SIC/NAICS Code:</b>		417230			
<u>1</u>	19 of 25	E/143.5	117.6 / -2.23	Perfect Circle Piston Rings 509 Glendale Ave Suite 305 Niagara-on-the-Lake ON L0S 1J0	SCT
<b>Established:</b>					
<b>Plant Size (ft²):</b>					
<b>Employment:</b>					

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<b>--Details--</b>					
<b>Description:</b>		Motor Vehicle Gasoline Engine and Engine Parts Manufacturing			
<b>SIC/NAICS Code:</b>		336310			
<u>1</u>	20 of 25	E/143.5	117.6 / -2.23	Victor Reinz Gaskets 509 Glendale Ave Suite 305 Niagara-on-the-Lake ON L0S 1J0	SCT
<b>Established:</b>					
<b>Plant Size (ft²):</b>					
<b>Employment:</b>					
<b>--Details--</b>					
<b>Description:</b>		All Other Miscellaneous Manufacturing			
<b>SIC/NAICS Code:</b>		339990			
<b>Description:</b>		All Other Miscellaneous Manufacturing			
<b>SIC/NAICS Code:</b>		339990			
<b>Description:</b>		Other Engine and Power Transmission Equipment Manufacturing			
<b>SIC/NAICS Code:</b>		333619			
<u>1</u>	21 of 25	E/143.5	117.6 / -2.23	Firing Industries Ltd. 509 Glendale Ave Suite 301 SS 4 Niagara-on-the-Lake ON L0S 1J0	SCT
<b>Established:</b>		01-OCT-73			
<b>Plant Size (ft²):</b>					
<b>Employment:</b>					
<b>--Details--</b>					
<b>Description:</b>		Farm, Lawn and Garden Machinery and Equipment Wholesaler-Distributors			
<b>SIC/NAICS Code:</b>		417110			
<b>Description:</b>		Industrial Machinery, Equipment and Supplies Wholesaler-Distributors			
<b>SIC/NAICS Code:</b>		417230			
<b>Description:</b>		Wholesale Trade Agents and Brokers			
<b>SIC/NAICS Code:</b>		419120			
<b>Description:</b>		Professional Machinery, Equipment and Supplies Wholesaler-Distributors			
<b>SIC/NAICS Code:</b>		417930			
<b>Description:</b>		Industrial Machinery, Equipment and Supplies Wholesaler-Distributors			
<b>SIC/NAICS Code:</b>		417230			
<u>1</u>	22 of 25	E/143.5	117.6 / -2.23	The Olfa Products Group 206-509 Glendale Ave Niagara-On-The-Lake ON L0S 1J0	SCT
<b>Established:</b>		01-OCT-56			
<b>Plant Size (ft²):</b>		6000			
<b>Employment:</b>					
<b>--Details--</b>					
<b>Description:</b>		Hardware Wholesaler-Distributors			

Map Key	Number of Records	Direction/Distance (m)	Elev/Diff (m)	Site	DB
<b>SIC/NAICS Code:</b>		416330			
<u>1</u>	23 of 25	E/143.5	117.6 / -2.23	<b>Elementa Group Inc.</b> 509 Glendale Ave Suite 302 Niagara-On-The-Lke ON L0S 1J0	SCT
<b>Established:</b>		01-JAN-90			
<b>Plant Size (ft²):</b>		10000			
<b>Employment:</b>					
<b>--Details--</b>					
<b>Description:</b>		Commercial and Service Industry Machinery Manufacturing			
<b>SIC/NAICS Code:</b>		333310			
<b>Description:</b>		Waste Collection			
<b>SIC/NAICS Code:</b>		562110			
<b>Description:</b>		Environmental Consulting Services			
<b>SIC/NAICS Code:</b>		541620			
<b>Description:</b>		Other Scientific and Technical Consulting Services			
<b>SIC/NAICS Code:</b>		541690			
<b>Description:</b>		Waste Treatment and Disposal			
<b>SIC/NAICS Code:</b>		562210			
<b>Description:</b>		Power, Distribution and Specialty Transformers Manufacturing			
<b>SIC/NAICS Code:</b>		335311			
<u>1</u>	24 of 25	E/143.5	117.6 / -2.23	<b>Triviera Investments&lt;UNOFFICIAL&gt;</b> 509 glendale Ave e Niagara-on-the-Lake ON	SPL
<b>Ref No:</b>		6348-9WEH6P			
<b>Site No:</b>		NA			
<b>Incident Dt:</b>		5/4/2015			
<b>Year:</b>					
<b>Incident Cause:</b>		Leak/Break			
<b>Incident Event:</b>					
<b>Contaminant Code:</b>		38			
<b>Contaminant Name:</b>		FREON R-134A (CFC)			
<b>Contaminant Limit 1:</b>					
<b>Contam Limit Freq 1:</b>					
<b>Contaminant UN No 1:</b>					
<b>Environment Impact:</b>					
<b>Nature of Impact:</b>		Air			
<b>Receiving Medium:</b>					
<b>Receiving Env:</b>					
<b>MOE Response:</b>		N			
<b>Dt MOE Arvl on Scn:</b>					
<b>MOE Reported Dt:</b>		5/11/2015			
<b>Dt Document Closed:</b>		5/22/2015			
<b>Incident Reason:</b>		Equipment Failure			
<b>Site Name:</b>		Chiller<UNOFFICIAL>			
<b>Site County/District:</b>					
<b>Site Geo Ref Meth:</b>					
<b>Incident Summary:</b>		Triviera - 60.8 kg Freon to atm			
<b>Contaminant Qty:</b>		60.8 kg			
<b>Discharger Report:</b>					
<b>Material Group:</b>					
<b>Health/Env Conseq:</b>					
<b>Client Type:</b>					
<b>Sector Type:</b>					
<b>Agency Involved:</b>					
<b>Nearest Watercourse:</b>					
<b>Site Address:</b>		509 glendale Ave e			
<b>Site District Office:</b>					
<b>Site Postal Code:</b>					
<b>Site Region:</b>					
<b>Site Municipality:</b>		Niagara-on-the-Lake			
<b>Site Lot:</b>					
<b>Site Conc:</b>					
<b>Northing:</b>					
<b>Easting:</b>					
<b>Site Geo Ref Accu:</b>					
<b>Site Map Datum:</b>					
<b>SAC Action Class:</b>		Primary Assessment of Spills			
<b>Source Type:</b>					

Map Key	Number of Records	Direction/Distance (m)	Elev/Diff (m)	Site	DB
<u>1</u>	25 of 25	E/143.5	117.6 / -2.23	FOSTER WHEELER LTD 509 GLENDALE AVE RR 4 NIAGARA ON THE LAKE ON LOS 1J0	VAR
<b>Incident No:</b>		009514945-001			
<b>Status:</b>		Variance Approved			
<b>Task Name:</b>		FS-Variance Review			
<b>Attribute:</b>		Abandon UST			
<u>2</u>	1 of 1	NE/189.1	114.9 / -4.90	ON	BORE
<b>Borehole ID:</b>		852741		<b>Type:</b> Borehole	
<b>Use:</b>		Geotechnical/Geological Investigation		<b>Status:</b> Decommissioned	
<b>Drill Method:</b>		Solid stem auger		<b>UTM Zone:</b> 17	
<b>Easting:</b>		649619		<b>Northing:</b> 4779727	
<b>Location Accuracy:</b>				<b>Orig. Ground Elev m:</b> 118	
<b>Elev. Reliability Note:</b>				<b>DEM Ground Elev m:</b> 114	
<b>Total Depth m:</b>		9.6		<b>Primary Name:</b>	
<b>Township:</b>		GRANTHAM		<b>Concession:</b> CON 10	
<b>Lot:</b>		0		<b>Municipality:</b>	
<b>Completion Date:</b>		25-MAR-1998		<b>Static Water Level:</b> .7	
<b>Primary Water Use:</b>				<b>Sec. Water Use:</b>	
<b>--Details--</b>					
<b>Stratum ID:</b>		218623483		<b>Top Depth(m):</b> 0.0	
<b>Bottom Depth(m):</b>		4.8		<b>Stratum Desc:</b> Fill - 15 cm asphalt over 30 cm crushed limestone over brown clayey silt fill, some silt, sand and gravel, wtpl to sdtpl, firm over buried topsoil	
<b>Stratum ID:</b>		218623484		<b>Top Depth(m):</b> 4.8	
<b>Bottom Depth(m):</b>		9.6		<b>Stratum Desc:</b> Clay - brown, fissured, laminated, traces of sand and gravel, some silt pockets and seams, sdtpl to wtpl, very stiff to stiff, WI = 56.7%, Wp = 24%, Ip = 32.7%	
<u>3</u>	1 of 1	N/222.4	115.8 / -3.97	TRANSPORT TRUCK ON THE QEW WESTBOUND EXIT RAMP TO GLENDALE AVENUE. MOTOR VEHICLE (OPERATING FLUID) ST. CATHARINES CITY ON	SPL
<b>Ref No:</b>		118746		<b>Discharger Report:</b>	
<b>Site No:</b>				<b>Material Group:</b>	
<b>Incident Dt:</b>		9/20/1995		<b>Health/Env Conseq:</b>	
<b>Year:</b>				<b>Client Type:</b>	
<b>Incident Cause:</b>		PIPE/HOSE LEAK		<b>Sector Type:</b>	
<b>Incident Event:</b>				<b>Agency Involved:</b>	
<b>Contaminant Code:</b>				<b>Nearest Watercourse:</b>	
<b>Contaminant Name:</b>				<b>Site Address:</b>	
<b>Contaminant Limit 1:</b>				<b>Site District Office:</b>	
<b>Contam Limit Freq 1:</b>				<b>Site Postal Code:</b>	
<b>Contaminant UN No 1:</b>				<b>Site Region:</b>	
<b>Environment Impact:</b>		POSSIBLE		<b>Site Municipality:</b> 18103	
<b>Nature of Impact:</b>		Soil contamination		<b>Site Lot:</b>	
<b>Receiving Medium:</b>		LAND		<b>Site Conc:</b>	
<b>Receiving Env:</b>				<b>Northing:</b>	
<b>MOE Response:</b>				<b>Easting:</b> OPP, MTO	
<b>Dt MOE Arvl on Scn:</b>				<b>Site Geo Ref Accu:</b>	
<b>MOE Reported Dt:</b>		9/20/1995		<b>Site Map Datum:</b>	
<b>Dt Document Closed:</b>				<b>SAC Action Class:</b>	

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<b>Incident Reason:</b>	ADVERSE ROAD CONDITION			<b>Source Type:</b>	
<b>Site Name:</b>					
<b>Site County/District:</b>					
<b>Site Geo Ref Meth:</b>					
<b>Incident Summary:</b>	TRANSPORT TRUCK: MINOR QUANTITY OF DIESEL TO HWYFROM RUPTURED FUEL LINE.				
<b>Contaminant Qty:</b>					

<u>4</u>	1 of 1	SW/224.5	120.6 / 0.74	Niagara-on-the-Lake ON	WWS
<b>Well ID:</b>	7226318			<b>Data Entry Status:</b>	
<b>Construction Date:</b>				<b>Data Src:</b>	
<b>Primary Water Use:</b>	Monitoring and Test Hole			<b>Date Received:</b>	8/29/2014
<b>Sec. Water Use:</b>	0			<b>Selected Flag:</b>	Yes
<b>Final Well Status:</b>	Monitoring and Test Hole			<b>Abandonment Rec:</b>	
<b>Water Type:</b>				<b>Contractor:</b>	7238
<b>Casing Material:</b>				<b>Form Version:</b>	7
<b>Audit No:</b>	Z185435			<b>Owner:</b>	
<b>Tag:</b>	A165321			<b>Street Name:</b>	NIAGARA COLLEGE CAMPUS
<b>Construction Method:</b>				<b>County:</b>	NIAGARA (LINCOLN)
<b>Elevation (m):</b>				<b>Municipality:</b>	NIAGARA-ON-THE-LAKE TOWN (GRANTHAM)
<b>Elevation Reliability:</b>				<b>Site Info:</b>	
<b>Depth to Bedrock:</b>				<b>Lot:</b>	
<b>Well Depth:</b>				<b>Concession:</b>	
<b>Overburden/Bedrock:</b>				<b>Concession Name:</b>	
<b>Pump Rate:</b>				<b>Easting NAD83:</b>	
<b>Static Water Level:</b>				<b>Northing NAD83:</b>	
<b>Flowing (Y/N):</b>				<b>Zone:</b>	
<b>Flow Rate:</b>				<b>UTM Reliability:</b>	
<b>Clear/Cloudy:</b>					
<b><u>Bore Hole Information</u></b>					
<b>Bore Hole ID:</b>	1005105307			<b>Elevation:</b>	120.63
<b>DP2BR:</b>				<b>Elevrc:</b>	
<b>Spatial Status:</b>				<b>Zone:</b>	17
<b>Code OB:</b>				<b>East83:</b>	649353
<b>Code OB Desc:</b>				<b>North83:</b>	4779410
<b>Open Hole:</b>				<b>Org CS:</b>	UTM83
<b>Cluster Kind:</b>				<b>UTMRC:</b>	4
<b>Date Completed:</b>	11-JUN-14			<b>UTMRC Desc:</b>	margin of error : 30 m - 100 m
<b>Remarks:</b>				<b>Location Method:</b>	wwr
<b>Elevrc Desc:</b>					
<b>Location Source Date:</b>					
<b>Improvement Location Source:</b>					
<b>Improvement Location Method:</b>					
<b>Source Revision Comment:</b>					
<b>Supplier Comment:</b>					
<b><u>Overburden and Bedrock</u></b>					
<b><u>Materials Interval</u></b>					
<b>Formation ID:</b>	1005351238				
<b>Layer:</b>	6				
<b>Color:</b>	7				
<b>General Color:</b>	RED				
<b>Mat1:</b>	17				
<b>Most Common Material:</b>	SHALE				
<b>Mat2:</b>					
<b>Other Materials:</b>					
<b>Mat3:</b>					

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<b>Other Materials:</b>					
	Formation Top Depth:		143		
	Formation End Depth:		155		
	Formation End Depth UOM:		ft		
<b><u>Overburden and Bedrock</u></b>					
<b><u>Materials Interval</u></b>					
	Formation ID:		1005351236		
	Layer:		4		
	Color:		7		
	General Color:		RED		
	Mat1:		08		
	Most Common Material:		FINE SAND		
	Mat2:		09		
	Other Materials:		MEDIUM SAND		
	Mat3:				
	Other Materials:				
	Formation Top Depth:		69		
	Formation End Depth:		108		
	Formation End Depth UOM:		ft		
<b><u>Overburden and Bedrock</u></b>					
<b><u>Materials Interval</u></b>					
	Formation ID:		1005351235		
	Layer:		3		
	Color:		6		
	General Color:		BROWN		
	Mat1:		06		
	Most Common Material:		SILT		
	Mat2:		28		
	Other Materials:		SAND		
	Mat3:		12		
	Other Materials:		STONES		
	Formation Top Depth:		51		
	Formation End Depth:		69		
	Formation End Depth UOM:		ft		
<b><u>Overburden and Bedrock</u></b>					
<b><u>Materials Interval</u></b>					
	Formation ID:		1005351234		
	Layer:		2		
	Color:		6		
	General Color:		BROWN		
	Mat1:		05		
	Most Common Material:		CLAY		
	Mat2:		06		
	Other Materials:		SILT		
	Mat3:				
	Other Materials:				
	Formation Top Depth:		1		
	Formation End Depth:		51		
	Formation End Depth UOM:		ft		
<b><u>Overburden and Bedrock</u></b>					
<b><u>Materials Interval</u></b>					
	Formation ID:		1005351233		
	Layer:		1		
	Color:		8		

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<b>General Color:</b>		BLACK			
<b>Mat1:</b>		28			
<b>Most Common Material:</b>		SAND			
<b>Mat2:</b>		06			
<b>Other Materials:</b>		SILT			
<b>Mat3:</b>		05			
<b>Other Materials:</b>		CLAY			
<b>Formation Top Depth:</b>		0			
<b>Formation End Depth:</b>		1			
<b>Formation End Depth UOM:</b>		ft			
<b><u>Overburden and Bedrock</u></b>					
<b><u>Materials Interval</u></b>					
<b>Formation ID:</b>		1005351237			
<b>Layer:</b>		5			
<b>Color:</b>		7			
<b>General Color:</b>		RED			
<b>Mat1:</b>		09			
<b>Most Common Material:</b>		MEDIUM SAND			
<b>Mat2:</b>		29			
<b>Other Materials:</b>		FINE GRAVEL			
<b>Mat3:</b>					
<b>Other Materials:</b>					
<b>Formation Top Depth:</b>		108			
<b>Formation End Depth:</b>		143			
<b>Formation End Depth UOM:</b>		ft			
<b><u>Annular Space/Abandonment</u></b>					
<b><u>Sealing Record</u></b>					
<b>Plug ID:</b>		1005351248			
<b>Layer:</b>		1			
<b>Plug From:</b>		0			
<b>Plug To:</b>		10			
<b>Plug Depth UOM:</b>		ft			
<b><u>Annular Space/Abandonment</u></b>					
<b><u>Sealing Record</u></b>					
<b>Plug ID:</b>		1005351251			
<b>Layer:</b>		4			
<b>Plug From:</b>		121.5			
<b>Plug To:</b>		136			
<b>Plug Depth UOM:</b>		ft			
<b><u>Annular Space/Abandonment</u></b>					
<b><u>Sealing Record</u></b>					
<b>Plug ID:</b>		1005351249			
<b>Layer:</b>		2			
<b>Plug From:</b>		10			
<b>Plug To:</b>		117			
<b>Plug Depth UOM:</b>		ft			
<b><u>Annular Space/Abandonment</u></b>					
<b><u>Sealing Record</u></b>					
<b>Plug ID:</b>		1005351250			
<b>Layer:</b>		3			
<b>Plug From:</b>		117			
<b>Plug To:</b>		121.5			

<i>Map Key</i>	<i>Number of Records</i>	<i>Direction/ Distance (m)</i>	<i>Elev/Diff (m)</i>	<i>Site</i>	<i>DB</i>
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**Water Details**

**Water ID:** 1005351241  
**Layer:** 1  
**Kind Code:** 8  
**Kind:** Untested  
**Water Found Depth:** 69  
**Water Found Depth UOM:** ft

**Hole Diameter**

**Hole ID:** 1005351240  
**Diameter:** 5  
**Depth From:** 18  
**Depth To:** 155  
**Hole Depth UOM:** ft  
**Hole Diameter UOM:** inch

**Hole Diameter**

**Hole ID:** 1005351239  
**Diameter:** 8.25  
**Depth From:** 0  
**Depth To:** 18  
**Hole Depth UOM:** ft  
**Hole Diameter UOM:** inch

## Unplottable Summary

Total: **10** Unplottable sites

DB	Company Name/Site Name	Address	City	Postal
CA	NIAGARA COLLEGE CANADA	PT.LOT 2/CON.10, GLENDALE SITE	NIAGARA-ON-THE-LAKE TOWN ON	
ECA	The Regional Municipality of Niagara	Glendale Rd	Niagara-on-the-Lake ON	L2V 4T7
PRT	SIPCO OIL LTD ATTN BARBARA FINK	GLENDALE AV	NIAGARA ON	
PRT	SUNYS PETROLEUM INC	GLENDALE AV	NIAGARA ON THE LAKE ON	
PTTW	Ducks Unlimited	Lot 1, Concession 10 TOWN OF NIAGARA-ON-THE-LAKE	ON	
SPL	HUSKY OIL MARKETING CO.	NORHT SIDE OF QEW NEAR GLENDALE SERVICE STATION	NIAGARA-ON-THE-LAKE TOWN ON	
SPL	ESSO PETROLEUM	ESSO STATION GLENDALE AVE SERVICE STATION	NIAGARA-ON-THE-LAKE TOWN ON	
SPL	Modern Landfill Inc.	QEW JUST BEFORE GLENDALE AVE.<UNOFFICIAL>	Niagara-on-the-Lake ON	
SPL	TRANSPORT TRUCK	ON THE QEW WESTBOUND EXIT RAMP TO GLENDALE AVENUE. MOTOR VEHICLE (OPERATING FLUID)	NIAGARA-ON-THE-LAKE TOWN ON	
WWIS		lot 1	ON	

# Unplottable Report

**Site:** NIAGARA COLLEGE CANADA  
PT.LOT 2/CON.10, GLENDALE SITE NIAGARA-ON-THE-LAKE TOWN ON

**Database:**  
CA

**Certificate #:** 3-1002-95-  
**Application Year:** 95  
**Issue Date:** 7/26/1995  
**Approval Type:** Municipal sewage  
**Status:** Approved  
**Application Type:**  
**Client Name:**  
**Client Address:**  
**Client City:**  
**Client Postal Code:**  
**Project Description:**  
**Contaminants:**  
**Emission Control:**

**Site:** The Regional Municipality of Niagara  
Glendale Rd Niagara-on-the-Lake ON L2V 4T7

**Database:**  
ECA

**Approval No:** 7497-A59LXC  
**Approval Date:** 2015-12-18  
**Status:** Approved  
**Record Type:** ECA  
**Link Source:** IDS  
**SWP Area Name:**  
**Approval Type:** ECA-MUNICIPAL AND PRIVATE SEWAGE WORKS  
**Project Type:** MUNICIPAL AND PRIVATE SEWAGE WORKS  
**Address:** Glendale Rd  
**Full Address:**  
**Full PDF Link:** <https://www.accessenvironment.ene.gov.on.ca/instruments/9155-A4ML6F-14.pdf>

**MOE District:**  
**City:** Niagara-on-the-Lake  
**Longitude:**  
**Latitude:**  
**Geometry X:**  
**Geometry Y:**

**Site:** SIPCO OIL LTD ATTN BARBARA FINK  
GLENDALE AV NIAGARA ON

**Database:**  
PRT

**Location ID:** 9897  
**Type:** retail  
**Expiry Date:** 1996-04-30  
**Capacity (L):** 149900  
**Licence #:** 0076442292

**Site:** SUNYS PETROLEUM INC  
GLENDALE AV NIAGARA ON THE LAKE ON

**Database:**  
PRT

**Location ID:** 9897  
**Type:** retail  
**Expiry Date:** 1992-12-31  
**Capacity (L):** 0  
**Licence #:** 0051497001

**Site:** Ducks Unlimited  
Lot 1, Concession 10 TOWN OF NIAGARA-ON-THE-LAKE ON

**Database:**  
PTTW

**EBR Registry No:** IA9E0840  
**Proposal Date:** July 14, 1999

**Ministry Ref. No:** 23007421  
**Notice Type:** Instrument Decision  
**Company Name:** Ducks Unlimited  
**Proponent Name:**  
**Proponent Address:** 566 Welham Road, Barrie Ontario, L4M 6E7  
**Instrument Type:** (OWRA s. 34) - Permit to Take Water  
**Location Other:**  
**URL:**

**Notice Date:** September 06, 2001  
**Year:** 1999

**Location:**

Lot 1, Concession 10 TOWN OF NIAGARA-ON-THE-LAKE

**Site:** HUSKY OIL MARKETING CO.  
 NORHT SIDE OF QEW NEAR GLENDALE SERVICE STATION NIAGARA-ON-THE-LAKE TOWN ON  
**Database:** SPL

**Ref No:** 97003  
**Site No:**  
**Incident Dt:** 3/3/1994  
**Year:**  
**Incident Cause:** UNKNOWN  
**Incident Event:**  
**Contaminant Code:**  
**Contaminant Name:**  
**Contaminant Limit 1:**  
**Contam Limit Freq 1:**  
**Contaminant UN No 1:**  
**Environment Impact:** NOT ANTICIPATED  
**Nature of Impact:**  
**Receiving Medium:** LAND  
**Receiving Env:**  
**MOE Response:**  
**Dt MOE Arvl on Scn:**  
**MOE Reported Dt:** 3/4/1994  
**Dt Document Closed:**  
**Incident Reason:** UNKNOWN  
**Site Name:**  
**Site County/District:**  
**Site Geo Ref Meth:**  
**Incident Summary:** HUSKY TRUCK STOP - DIESEL FUEL TO PARKING LOT AT CARDLOCK STATION  
**Contaminant Qty:**

**Discharger Report:**  
**Material Group:**  
**Health/Env Conseq:**  
**Client Type:**  
**Sector Type:**  
**Agency Involved:**  
**Nearest Watercourse:**  
**Site Address:**  
**Site District Office:**  
**Site Postal Code:**  
**Site Region:**  
**Site Municipality:** 18404  
**Site Lot:**  
**Site Conc:**  
**Northing:**  
**Easting:**  
**Site Geo Ref Accu:**  
**Site Map Datum:**  
**SAC Action Class:**  
**Source Type:**

**Site:** ESSO PETROLEUM  
 ESSO STATION GLENDALE AVE SERVICE STATION NIAGARA-ON-THE-LAKE TOWN ON  
**Database:** SPL

**Ref No:** 12238  
**Site No:**  
**Incident Dt:** 11/26/1988  
**Year:**  
**Incident Cause:** CONTAINER OVERFLOW  
**Incident Event:**  
**Contaminant Code:**  
**Contaminant Name:**  
**Contaminant Limit 1:**  
**Contam Limit Freq 1:**  
**Contaminant UN No 1:**  
**Environment Impact:**  
**Nature of Impact:**  
**Receiving Medium:** LAND  
**Receiving Env:**  
**MOE Response:**  
**Dt MOE Arvl on Scn:**  
**MOE Reported Dt:** 11/26/1988  
**Dt Document Closed:**  
**Incident Reason:** NEGLIGENCE (APPARENT)  
**Site Name:**

**Discharger Report:**  
**Material Group:**  
**Health/Env Conseq:**  
**Client Type:**  
**Sector Type:**  
**Agency Involved:**  
**Nearest Watercourse:**  
**Site Address:**  
**Site District Office:**  
**Site Postal Code:**  
**Site Region:**  
**Site Municipality:** 18404  
**Site Lot:**  
**Site Conc:**  
**Northing:**  
**Easting:** MCCR  
**Site Geo Ref Accu:**  
**Site Map Datum:**  
**SAC Action Class:**  
**Source Type:**

Site County/District:  
 Site Geo Ref Meth:  
 Incident Summary: SERVICE STATION  
 Contaminant Qty:

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**Site:** Modern Landfill Inc.  
 QEW JUST BEFORE GLENDALE AVE.<UNOFFICIAL> Niagara-on-the-Lake ON **Database:**  
 SPL

<b>Ref No:</b> 6575-6Q3SZD	<b>Discharger Report:</b>
<b>Site No:</b>	<b>Material Group:</b> Oils
<b>Incident Dt:</b> 5/23/2006	<b>Health/Env Conseq:</b>
<b>Year:</b>	<b>Client Type:</b>
<b>Incident Cause:</b> Pipe Or Hose Leak	<b>Sector Type:</b> Other Motor Vehicle
<b>Incident Event:</b>	<b>Agency Involved:</b>
<b>Contaminant Code:</b> 15	<b>Nearest Watercourse:</b>
<b>Contaminant Name:</b> HYDRAULIC OIL	<b>Site Address:</b>
<b>Contaminant Limit 1:</b>	<b>Site District Office:</b> Niagara
<b>Contam Limit Freq 1:</b>	<b>Site Postal Code:</b>
<b>Contaminant UN No 1:</b>	<b>Site Region:</b>
<b>Environment Impact:</b> Possible	<b>Site Municipality:</b> Niagara-on-the-Lake
<b>Nature of Impact:</b> Soil Contamination	<b>Site Lot:</b>
<b>Receiving Medium:</b> Land	<b>Site Conc:</b>
<b>Receiving Env:</b>	<b>Northing:</b>
<b>MOE Response:</b>	<b>Easting:</b>
<b>Dt MOE Arvl on Scn:</b>	<b>Site Geo Ref Accu:</b>
<b>MOE Reported Dt:</b> 5/23/2006	<b>Site Map Datum:</b>
<b>Dt Document Closed:</b>	<b>SAC Action Class:</b>
<b>Incident Reason:</b> Equipment Failure	<b>Source Type:</b>
<b>Site Name:</b>	
<b>Site County/District:</b>	
<b>Site Geo Ref Meth:</b>	
<b>Incident Summary:</b> Modern Landfill Truck-80 L hydraulic oil onto QEW.	
<b>Contaminant Qty:</b> 80 L	

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**Site:** TRANSPORT TRUCK  
 ON THE QEW WESTBOUND EXIT RAMP TO GLENDALE AVENUE. MOTOR VEHICLE (OPERATING FLUID)  
 NIAGARA-ON-THE-LAKE TOWN ON **Database:**  
 SPL

<b>Ref No:</b> 132353	<b>Discharger Report:</b>
<b>Site No:</b>	<b>Material Group:</b>
<b>Incident Dt:</b> 9/26/1996	<b>Health/Env Conseq:</b>
<b>Year:</b>	<b>Client Type:</b>
<b>Incident Cause:</b> OTHER TRANSPORTATION ACCIDENT	<b>Sector Type:</b>
<b>Incident Event:</b>	<b>Agency Involved:</b>
<b>Contaminant Code:</b>	<b>Nearest Watercourse:</b>
<b>Contaminant Name:</b>	<b>Site Address:</b>
<b>Contaminant Limit 1:</b>	<b>Site District Office:</b>
<b>Contam Limit Freq 1:</b>	<b>Site Postal Code:</b>
<b>Contaminant UN No 1:</b>	<b>Site Region:</b>
<b>Environment Impact:</b> POSSIBLE	<b>Site Municipality:</b> 18404
<b>Nature of Impact:</b> Soil contamination	<b>Site Lot:</b>
<b>Receiving Medium:</b> LAND	<b>Site Conc:</b>
<b>Receiving Env:</b>	<b>Northing:</b>
<b>MOE Response:</b>	<b>Easting:</b> OPP, FD
<b>Dt MOE Arvl on Scn:</b>	<b>Site Geo Ref Accu:</b>
<b>MOE Reported Dt:</b> 9/26/1996	<b>Site Map Datum:</b>
<b>Dt Document Closed:</b>	<b>SAC Action Class:</b>
<b>Incident Reason:</b> ERROR	<b>Source Type:</b>
<b>Site Name:</b>	
<b>Site County/District:</b>	
<b>Site Geo Ref Meth:</b>	
<b>Incident Summary:</b> TRANSPORT TRUCK: 1 GAL OFDIESEL TO HWY DUE TO AN ACCIDENT	
<b>Contaminant Qty:</b>	

**lot 1 ON**

**Well ID:** 3804072  
**Construction Date:**  
**Primary Water Use:** Domestic  
**Sec. Water Use:**  
**Final Well Status:** Water Supply  
**Water Type:**  
**Casing Material:**  
**Audit No:** 253400  
**Tag:**  
**Construction Method:**  
**Elevation (m):**  
  
**Elevation Reliability:**  
**Depth to Bedrock:**  
**Well Depth:**  
**Overburden/Bedrock:**  
**Pump Rate:**  
**Static Water Level:**  
**Flowing (Y/N):**  
**Flow Rate:**  
**Clear/Cloudy:**

**Data Entry Status:**  
**Data Src:** 1  
**Date Received:** 4/7/2003  
**Selected Flag:** Yes  
**Abandonment Rec:**  
**Contractor:** 7179  
**Form Version:** 1  
**Owner:**  
**Street Name:**  
**County:** NIAGARA (LINCOLN)  
**Municipality:** NIAGARA-ON-THE-LAKE TOWN (GRANTHAM)  
  
**Site Info:**  
**Lot:** 001  
**Concession:**  
**Concession Name:**  
**Easting NAD83:**  
**Northing NAD83:**  
**Zone:**  
**UTM Reliability:**

**Bore Hole Information**

**Bore Hole ID:** 10539630  
**DP2BR:** 22  
**Spatial Status:**  
**Code OB:** r  
**Code OB Desc:** Bedrock  
**Open Hole:**  
**Cluster Kind:**  
**Date Completed:** 24-MAR-03  
**Remarks:**  
**Elevrc Desc:**  
**Location Source Date:**  
**Improvement Location Source:**  
**Improvement Location Method:**  
**Source Revision Comment:**  
**Supplier Comment:**

**Elevation:**  
**Elevrc:**  
**Zone:** 17  
**East83:**  
**North83:**  
**Org CS:**  
**UTMRC:** 9  
**UTMRC Desc:** unknown UTM  
**Location Method:** na

**Overburden and Bedrock**

**Materials Interval**

**Formation ID:** 932912366  
**Layer:** 1  
**Color:** 6  
**General Color:** BROWN  
**Mat1:** 28  
**Most Common Material:** SAND  
**Mat2:**  
**Other Materials:**  
**Mat3:**  
**Other Materials:**  
**Formation Top Depth:** 0  
**Formation End Depth:** 2  
**Formation End Depth UOM:** ft

**Overburden and Bedrock**

**Materials Interval**

**Formation ID:** 932912367  
**Layer:** 2  
**Color:** 6  
**General Color:** BROWN  
**Mat1:** 28

**Most Common Material:** SAND  
**Mat2:** 05  
**Other Materials:** CLAY  
**Mat3:**  
**Other Materials:**  
**Formation Top Depth:** 2  
**Formation End Depth:** 22  
**Formation End Depth UOM:** ft

**Overburden and Bedrock  
Materials Interval**

**Formation ID:** 932912368  
**Layer:** 3  
**Color:** 7  
**General Color:** RED  
**Mat1:** 17  
**Most Common Material:** SHALE  
**Mat2:**  
**Other Materials:**  
**Mat3:**  
**Other Materials:**  
**Formation Top Depth:** 22  
**Formation End Depth:** 42  
**Formation End Depth UOM:** ft

**Overburden and Bedrock  
Materials Interval**

**Formation ID:** 932912369  
**Layer:** 4  
**Color:** 2  
**General Color:** GREY  
**Mat1:** 15  
**Most Common Material:** LIMESTONE  
**Mat2:**  
**Other Materials:**  
**Mat3:**  
**Other Materials:**  
**Formation Top Depth:** 42  
**Formation End Depth:** 80  
**Formation End Depth UOM:** ft

**Annular Space/Abandonment  
Sealing Record**

**Plug ID:** 933237875  
**Layer:** 1  
**Plug From:** 0  
**Plug To:** 10  
**Plug Depth UOM:** ft

**Annular Space/Abandonment  
Sealing Record**

**Plug ID:** 933237876  
**Layer:** 2  
**Plug From:** 10  
**Plug To:** 20  
**Plug Depth UOM:** ft

**Method of Construction & Well  
Use**

**Method Construction ID:** 963804072  
**Method Construction Code:** 1

**Method Construction:** Cable Tool  
**Other Method Construction:**

**Pipe Information**

**Pipe ID:** 11088200  
**Casing No:** 1  
**Comment:**  
**Alt Name:**

**Construction Record - Casing**

**Casing ID:** 930408838  
**Layer:** 1  
**Material:** 1  
**Open Hole or Material:** STEEL  
**Depth From:**  
**Depth To:** 42  
**Casing Diameter:** 6  
**Casing Diameter UOM:** inch  
**Casing Depth UOM:** ft

**Construction Record - Casing**

**Casing ID:** 930408839  
**Layer:** 2  
**Material:** 4  
**Open Hole or Material:** OPEN HOLE  
**Depth From:**  
**Depth To:** 80  
**Casing Diameter:** 6  
**Casing Diameter UOM:** inch  
**Casing Depth UOM:** ft

**Results of Well Yield Testing**

**Pump Test ID:** 993804072  
**Pump Set At:**  
**Static Level:** 30  
**Final Level After Pumping:** 75  
**Recommended Pump Depth:** 78  
**Pumping Rate:** 3  
**Flowing Rate:**  
**Recommended Pump Rate:** 3  
**Levels UOM:** ft  
**Rate UOM:** GPM  
**Water State After Test Code:** 1  
**Water State After Test:** CLEAR  
**Pumping Test Method:** 1  
**Pumping Duration HR:** 1  
**Pumping Duration MIN:** 0  
**Flowing:** N

**Draw Down & Recovery**

**Pump Test Detail ID:** 934225450  
**Test Type:**  
**Test Duration:** 15  
**Test Level:** 43  
**Test Level UOM:** ft

**Draw Down & Recovery**

**Pump Test Detail ID:** 934759749  
**Test Type:**

**Test Duration:** 45  
**Test Level:** 70  
**Test Level UOM:** ft

**Draw Down & Recovery**

**Pump Test Detail ID:** 934493331  
**Test Type:**  
**Test Duration:** 30  
**Test Level:** 60  
**Test Level UOM:** ft

**Draw Down & Recovery**

**Pump Test Detail ID:** 935012744  
**Test Type:**  
**Test Duration:** 60  
**Test Level:** 75  
**Test Level UOM:** ft

**Water Details**

**Water ID:** 934033400  
**Layer:** 1  
**Kind Code:** 1  
**Kind:** FRESH  
**Water Found Depth:** 45  
**Water Found Depth UOM:** ft

## Appendix: Database Descriptions

Environmental Risk Information Services (ERIS) can search the following databases. The extent of historical information varies with each database and current information is determined by what is publicly available to ERIS at the time of update. **Note:** Databases denoted with "\*" indicates that the database will no longer be updated. See the individual database description for more information.

### **Abandoned Aggregate Inventory:**

Provincial [AAGR](#)

The MAAP Program maintains a database of abandoned pits and quarries. Please note that the database is only referenced by lot and concession and city/town location. The database provides information regarding the location, type, size, land use, status and general comments.\*

**Government Publication Date: Sept 2002\***

### **Aggregate Inventory:**

Provincial [AGR](#)

The Ontario Ministry of Natural Resources maintains a database of all active pits and quarries. The database provides information regarding the registered owner/operator, location name, operation type, approval type, and maximum annual tonnage.

**Government Publication Date: Up to Sep 2018**

### **Abandoned Mine Information System:**

Provincial [AMIS](#)

The Abandoned Mines Information System contains data on known abandoned and inactive mines located on both Crown and privately held lands. The information was provided by the Ministry of Northern Development and Mines (MNDM), with the following disclaimer: "the database provided has been compiled from various sources, and the Ministry of Northern Development and Mines makes no representation and takes no responsibility that such information is accurate, current or complete". Reported information includes official mine name, status, background information, mine start/end date, primary commodity, mine features, hazards and remediation.

**Government Publication Date: 1800-Oct 2018**

### **Anderson's Waste Disposal Sites:**

Private [ANDR](#)

The information provided in this database was collected by examining various historical documents which aimed to characterize the likely position of former waste disposal sites from 1860 to present. The research initiative behind the creation of this database was to identify those sites that are missing from the Ontario MOE Waste Disposal Site Inventory, as well as to provide revisions and corrections to the positions and descriptions of sites currently listed in the MOE inventory. In addition to historic waste disposal facilities, the database also identifies certain auto wreckers and scrap yards that have been extrapolated from documentary sources. Please note that the data is not warranted to be complete, exhaustive or authoritative. The information was collected for research purposes only.

**Government Publication Date: 1860s-Present**

### **Automobile Wrecking & Supplies:**

Private [AUWR](#)

This database provides an inventory of known locations that are involved in the scrap metal, automobile wrecking/recycling, and automobile parts & supplies industry. Information is provided on the company name, location and business type.

**Government Publication Date: 1999-Jan 31, 2019**

### **Borehole:**

Provincial [BORE](#)

A borehole is the generalized term for any narrow shaft drilled in the ground, either vertically or horizontally. The information here includes geotechnical investigations or environmental site assessments, mineral exploration, or as a pilot hole for installing piers or underground utilities. Information is from many sources such as the Ministry of Transportation (MTO) boreholes from engineering reports and projects from the 1950 to 1990's in Southern Ontario. Boreholes from the Ontario Geological Survey (OGS) including The Urban Geology Analysis Information System (UGAIS) and the York Peel Durham Toronto (YPDT) database of the Conservation Authority Moraine Coalition. This database will include fields such as location, stratigraphy, depth, elevation, year drilled, etc. For all water well data or oil and gas well data for Ontario please refer to WWIS and OOGW.

**Government Publication Date: 1875-Jul 2014**

### **Certificates of Approval:**

Provincial [CA](#)

This database contains the following types of approvals: Air & Noise, Industrial Sewage, Municipal & Private Sewage, Waste Management Systems and Renewable Energy Approvals. The MOE in Ontario states that any facility that releases emissions to the atmosphere, discharges contaminants to ground or surface water, provides potable water supplies, or stores, transports or disposes of waste, must have a Certificate of Approval before it can operate lawfully. Fields include approval number, business name, address, approval date, approval type and status. This database will no longer be updated, as CofA's have been replaced by either Environmental Activity and Sector Registry (EASR) or Environmental Compliance Approval (ECA). Please refer to those individual databases for any information after Oct.31, 2011.

**Government Publication Date: 1985-Oct 30, 2011\***

**Commercial Fuel Oil Tanks:**

Provincial CFOT

List of commercial underground fuel oil tanks made available by the Fuels Safety Program of the Technical Standards & Safety Authority (TSSA). Ontario Regulation 213/01 of the Technical Standards and Safety Act (2000) requires that all underground tanks be registered with the TSSA. Note: the Fuels Safety Division does not register waste oil tanks in apartments, office buildings, residences, etc., or aboveground gas or diesel tanks. Records are not verified for accuracy or completeness. This is not a comprehensive or complete inventory of commercial fuel tanks in the province. The TSSA updates information in its system on an ongoing basis; this listing is a copy of the data captured at one moment in time and is hence limited by the record date provided here.

**Government Publication Date: Feb 28, 2017**

**Chemical Register:**

Private CHEM

This database includes information from both a one time study conducted in 1992 and private source and is a listing of facilities that manufacture or distribute chemicals. The production of these chemical substances may involve one or more chemical reactions and/or chemical separation processes (i.e. fractionation, solvent extraction, crystallization, etc.).

**Government Publication Date: 1999-Jan 31, 2019**

**Compressed Natural Gas Stations:**

Private CNG

Canada has a network of public access compressed natural gas (CNG) refuelling stations. These stations dispense natural gas in compressed form at 3,000 pounds per square inch (psi), the pressure which is allowed within the current Canadian codes and standards. The majority of natural gas refuelling is located at existing retail gasoline that have a separate refuelling island for natural gas. This list of stations is made available by the Canadian Natural Gas Vehicle Alliance.

**Government Publication Date: Dec 2012 - Mar 2019**

**Inventory of Coal Gasification Plants and Coal Tar Sites:**

Provincial COAL

This inventory includes both the "Inventory of Coal Gasification Plant Waste Sites in Ontario-April 1987" and the Inventory of Industrial Sites Producing or Using Coal Tar and Related Tars in Ontario-November 1988) collected by the MOE. It identifies industrial sites that produced and continue to produce or use coal tar and other related tars. Detailed information is available and includes: facility type, size, land use, information on adjoining properties, soil condition, site operators/occupants, site description, potential environmental impacts and historic maps available. This was a one-time inventory.\*

**Government Publication Date: Apr 1987 and Nov 1988\***

**Compliance and Convictions:**

Provincial CONV

This database summarizes the fines and convictions handed down by the Ontario courts beginning in 1989. Companies and individuals named here have been found guilty of environmental offenses in Ontario courts of law.

**Government Publication Date: 1989-Mar 2019**

**Certificates of Property Use:**

Provincial CPU

This is a subset taken from Ontario's Environmental Registry (EBR) database. It will include all CPU's on the registry such as (EPA s. 168.6) - Certificate of Property Use.

**Government Publication Date: 1994-Mar 31, 2019**

**Drill Hole Database:**

Provincial DRL

The Ontario Drill Hole Database contains information on more than 113,000 percussion, overburden, sonic and diamond drill holes from assessment files on record with the department of Mines and Minerals. Please note that limited data is available for southern Ontario, as it was the last area to be completed. The database was created when surveys submitted to the Ministry were converted in the Assessment File Research Image Database (AFRI) project. However, the degree of accuracy (coordinates) as to the exact location of drill holes is dependent upon the source document submitted to the MNDM. Levels of accuracy used to locate holes are: centering on the mining claim; a sketch of the mining claim; a 1:50,000 map; a detailed company map; or from submitted a "Report of Work".

**Government Publication Date: 1886 - Oct 2018**

**Dry Cleaning Facilities:**

Federal DRYCLEANERS

List of dry cleaning facilities made available by Environment and Climate Change Canada. Environment and Climate Change Canada's Tetrachloroethylene (Use in Dry Cleaning and Reporting Requirements) Regulations (SOR/2003-79) are intended to reduce releases of tetrachloroethylene to the environment from dry cleaning facilities.

**Government Publication Date: Jan 2004-Dec 2017**

**Environmental Activity and Sector Registry:**

Provincial EASR

On October 31, 2011, a smarter, faster environmental approvals system came into effect in Ontario. The EASR allows businesses to register certain activities with the ministry, rather than apply for an approval. The registry is available for common systems and processes, to which preset rules of operation can be applied. The EASR is currently available for: heating systems, standby power systems and automotive refinishing. Businesses whose activities aren't subject to the EASR may apply for an ECA (Environmental Compliance Approval), Please see our ECA database.

**Government Publication Date: Oct 2011-Mar 31, 2019**

**Environmental Registry:**

Provincial EBR

The Environmental Registry lists proposals, decisions and exceptions regarding policies, Acts, instruments, or regulations that could significantly affect the environment. Through the Registry, thirteen provincial ministries notify the public of upcoming proposals and invite their comments. For example, if a local business is requesting a permit, license, or certificate of approval to release substances into the air or water; these are notified on the registry. Data includes: Approval for discharge into the natural environment other than water (i.e. Air) - EPA s. 9, Approval for sewage works - OWRA s. 53(1), and EPA s. 27 - Approval for a waste disposal site. For information regarding Permit to Take Water (PTTW), Certificate of Property Use (CPU) and (ORD) Orders please refer to those individual databases.

**Government Publication Date: 1994-Mar 31, 2019**

**Environmental Compliance Approval:**

Provincial ECA

On October 31, 2011, a smarter, faster environmental approvals system came into effect in Ontario. In the past, a business had to apply for multiple approvals (known as certificates of approval) for individual processes and pieces of equipment. Today, a business either registers itself, or applies for a single approval, depending on the types of activities it conducts. Businesses whose activities aren't subject to the EASR may apply for an ECA. A single ECA addresses all of a business's emissions, discharges and wastes. Separate approvals for air, noise and waste are no longer required. This database will also include Renewable Energy Approvals. For certificates of approval prior to Nov 1st, 2011, please refer to the CA database. For all Waste Disposal Sites please refer to the WDS database.

**Government Publication Date: Oct 2011-Mar 31, 2019**

**Environmental Effects Monitoring:**

Federal EEM

The Environmental Effects Monitoring program assesses the effects of effluent from industrial or other sources on fish, fish habitat and human usage of fisheries resources. Since 1992, pulp and paper mills have been required to conduct EEM studies under the Pulp and Paper Effluent Regulations. This database provides information on the mill name, geographical location and sub-lethal toxicity data.

**Government Publication Date: 1992-2007\***

**ERIS Historical Searches:**

Private EHS

ERIS has compiled a database of all environmental risk reports completed since March 1999. Available fields for this database include: site location, date of report, type of report, and search radius. As per all other databases, the ERIS database can be referenced on both the map and "Statistical Profile" page.

**Government Publication Date: 1999-Jan 31, 2019**

**Environmental Issues Inventory System:**

Federal EIIS

The Environmental Issues Inventory System was developed through the implementation of the Environmental Issues and Remediation Plan. This plan was established to determine the location and severity of contaminated sites on inhabited First Nation reserves, and where necessary, to remediate those that posed a risk to health and safety; and to prevent future environmental problems. The EIIS provides information on the reserve under investigation, inventory number, name of site, environmental issue, site action (Remediation, Site Assessment), and date investigation completed.

**Government Publication Date: 1992-2001\***

**Emergency Management Historical Event:**

Provincial EMHE

List of locations of historical occurrences of emergency events, including those assigned to the Ministry of Natural Resources by Order-In-Council (OIC) under the Emergency Management and Civil Protection Act, as well as events where MNR provided requested emergency response assistance. Many of these events will have involved community evacuations, significant structural loss, and/or involvement of MNR emergency response staff. These events fall into one of ten (10) type categories: Dam Failure; Drought / Low Water; Erosion; Flood; Forest Fire; Soil and Bedrock Instability; Petroleum Resource Center Event, EMO Requested Assistance, Continuity of Operations Event, Other Requested Assistance. EMHE record details are reproduced by ERIS under License with the Ontario Ministry of Natural Resources © Queen's Printer for Ontario, 2017.

**Government Publication Date: Dec 31, 2016**

**List of TSSA Expired Facilities:**

Provincial EXP

List of facilities and tanks - for which there was once a registration - no longer registered with the Fuels Safety Program of the Technical Standards and Safety Authority (TSSA). Includes private fuel outlets, bulk plants, fuel oil tanks, gasoline stations, marinas, propane filling stations, liquid fuel tanks, piping systems, etc. Tanks which have been removed from the ground are included in the expired facilities inventory held by the TSSA. Notes: the Fuels Safety Division did not register private fuel underground/aboveground storage tanks prior to January of 1990, or furnace oil tanks prior to May 1, 2002; nor does the Division register waste oil tanks in apartments, office buildings, residences, etc., or aboveground gas or diesel tanks. Records are not verified for accuracy or completeness. This is not a comprehensive or complete inventory of expired tanks/tank facilities in the province. The TSSA updates information in its system on an ongoing basis; this listing is hence limited by the record date provided here.

**Government Publication Date: Feb 28, 2017**

**Federal Convictions:**

Federal FCON

Environment Canada maintains a database referred to as the "Environmental Registry" that details prosecutions under the Canadian Environmental Protection Act (CEPA) and the Fisheries Act (FA). Information is provided on the company name, location, charge date, offence and penalty.

**Government Publication Date: 1988-Jun 2007\***

**Contaminated Sites on Federal Land:**

Federal FCS

The Federal Contaminated Sites Inventory includes information on known federal contaminated sites under the custodianship of departments, agencies and consolidated Crown corporations as well as those that are being or have been investigated to determine whether they have contamination arising from past use that could pose a risk to human health or the environment. The inventory also includes non-federal contaminated sites for which the Government of Canada has accepted some or all financial responsibility. It does not include sites where contamination has been caused by, and which are under the control of, enterprise Crown corporations, private individuals, firms or other levels of government.

**Government Publication Date: Jun 2000-Oct 2018**

**Fisheries & Oceans Fuel Tanks:**

Federal FOFT

Fisheries & Oceans Canada maintains an inventory of aboveground & underground fuel storage tanks located on Fisheries & Oceans property or controlled by DFO. Our inventory provides information on the site name, location, tank owner, tank operator, facility type, storage tank location, tank contents & capacity, and date of tank installation.

**Government Publication Date: 1964-Sep 2018**

**Fuel Storage Tank:**

Provincial FST

List of registered private and retail fuel storage tanks made available by the Fuels Safety Program of the Technical Standards & Safety Authority (TSSA). Ontario Regulation 213/01 of the Technical Standards and Safety Act (2000) requires that all underground tanks be registered with the TSSA. Notes: the Fuels Safety Division did not register private fuel underground/aboveground storage tanks prior to January of 1990, or furnace oil tanks prior to May 1, 2002; nor does the Division register waste oil tanks in apartments, office buildings, residences, etc., or aboveground gas or diesel tanks. Records are not verified for accuracy or completeness. This is not a comprehensive or complete inventory of fuel storage tanks/tank facilities in the province. The TSSA updates information in its system on an ongoing basis; this listing is hence limited by the record date provided here.

**Government Publication Date: Feb 28, 2017**

**Fuel Storage Tank - Historic:**

Provincial FSTH

The Fuels Safety Branch of the Ontario Ministry of Consumer and Commercial Relations maintained a database of all registered private fuel storage tanks. Public records of private fuel storage tanks are only available since the registration became effective in September 1989. This information is now collected by the Technical Standards and Safety Authority.

**Government Publication Date: Pre-Jan 2010\***

**Ontario Regulation 347 Waste Generators Summary:**

Provincial GEN

Regulation 347 of the Ontario EPA defines a waste generation site as any site, equipment and/or operation involved in the production, collection, handling and/or storage of regulated wastes. A generator of regulated waste is required to register the waste generation site and each waste produced, collected, handled, or stored at the site. This database contains the registration number, company name and address of registered generators including the types of hazardous wastes generated. It includes data on waste generating facilities such as: drycleaners, waste treatment and disposal facilities, machine shops, electric power distribution etc. This information is a summary of all years from 1986 including the most currently available data. Some records may contain, within the company name, the phrase "See & Use..." followed by a series of letters and numbers. This occurs when one company is amalgamated with or taken over by another registered company. The number listed as "See & Use", refers to the new ownership and the other identification number refers to the original ownership. This phrase serves as a link between the 2 companies until operations have been fully transferred.

**Government Publication Date: 1986-Dec 31, 2018**

**Greenhouse Gas Emissions from Large Facilities:**

Federal GHG

List of greenhouse gas emissions from large facilities made available by Environment Canada. Greenhouse gas emissions in kilotonnes of carbon dioxide equivalents (kt CO2 eq).

**Government Publication Date: 2013-Dec 2016**

**TSSA Historic Incidents:**

Provincial HINC

List of historic incidences of spills and leaks of diesel, fuel oil, gasoline, natural gas, propane, and hydrogen recorded by the TSSA in their previous incident tracking system. The TSSA's Fuels Safety Program administers the Technical Standards & Safety Act 2000, providing fuel-related safety services associated with the safe transportation, storage, handling and use of fuels such as gasoline, diesel, propane, natural gas and hydrogen. Under this Act, the TSSA regulates fuel suppliers, storage facilities, transport trucks, pipelines, contractors and equipment or appliances that use fuels. Records are not verified for accuracy or completeness. This is not a comprehensive or complete inventory of historical fuel spills and leaks in the province. This listing is a copy of the data captured at one moment in time and is hence limited by the record date provided here.

**Government Publication Date: 2006-June 2009\***

**Indian & Northern Affairs Fuel Tanks:**

Federal IAFT

The Department of Indian & Northern Affairs Canada (INAC) maintains an inventory of aboveground & underground fuel storage tanks located on both federal and crown land. Our inventory provides information on the reserve name, location, facility type, site/facility name, tank type, material & ID number, tank contents & capacity, and date of tank installation.

**Government Publication Date: 1950-Aug 2003\***

**TSSA Incidents:**

Provincial **INC**

List of spills and leaks of diesel, fuel oil, gasoline, natural gas, propane, and hydrogen reported to the Spills Action Centre (SAC) and made available by the Technical Standards and Safety Authority (TSSA). Under the Technical Standards & Safety Act (2000), the TSSA regulates fuel suppliers, storage facilities, transport trucks, pipelines, contractors, and equipment or appliances that use fuels. Includes incidents from fuel-related hazards such as spills, fires, and explosions. Records are not verified for accuracy or completeness. This is not a comprehensive or complete inventory of fuel-related leaks, spills, and incidents in the province. The TSSA updates information in its system on an ongoing basis; this listing is hence limited by the record date provided here.

**Government Publication Date: Feb 28, 2017**

**Landfill Inventory Management Ontario:**

Provincial **LIMO**

The Landfill Inventory Management Ontario (LIMO) database is updated every year, as the ministry compiles new and updated information. The inventory will include small and large landfills. Additionally, each year the ministry will request operators of the larger landfills complete a landfill data collection form that will be used to update LIMO and will include the following information from the previous operating year. This will include additional information such as estimated amount of total waste received, landfill capacity, estimated total remaining landfill capacity, fill rates, engineering designs, reporting and monitoring details, size of location, service area, approved waste types, leachate of site treatment, contaminant attenuation zone and more. The small landfills will include information such as site owner, site location and certificate of approval # and status.

**Government Publication Date: Sep 30, 2017**

**Canadian Mine Locations:**

Private **MINE**

This information is collected from the Canadian & American Mines Handbook. The Mines database is a national database that provides over 290 listings on mines (listed as public companies) dealing primarily with precious metals and hard rocks. Listed are mines that are currently in operation, closed, suspended, or are still being developed (advanced projects). Their locations are provided as geographic coordinates (x, y and/or longitude, latitude). As of 2002, data pertaining to Canadian smelters and refineries has been appended to this database.

**Government Publication Date: 1998-2009\***

**Environmental Penalty Annual Report:**

Provincial **MISA PENALTY**

This database contains data from Ontario's annual environmental penalty report published by the Ministry of the Environment and Climate Change. These reports provide information on environmental penalties for land or water violations issued to companies in one of the nine industrial sectors covered by the Municipal Industrial Strategy for Abatement (MISA) regulations.

**Government Publication Date: Jan 1, 2011 - Dec 31, 2017**

**Mineral Occurrences:**

Provincial **MNR**

In the early 70's, the Ministry of Northern Development and Mines created an inventory of approximately 19,000 mineral occurrences in Ontario, in regard to metallic and industrial minerals, as well as some information on building stones and aggregate deposits. Please note that the "Horizontal Positional Accuracy" is approximately +/- 200 m. Many reference elements for each record were derived from field sketches using pace or chain/tape measurements against claim posts or topographic features in the area. The primary limiting factor for the level of positional accuracy is the scale of the source material. The testing of horizontal accuracy of the source materials was accomplished by comparing the plan metric (X and Y) coordinates of that point with the coordinates of the same point as defined from a source of higher accuracy.

**Government Publication Date: 1846-Jan 2018**

**National Analysis of Trends in Emergencies System (NATES):**

Federal **NATE**

In 1974 Environment Canada established the National Analysis of Trends in Emergencies System (NATES) database, for the voluntary reporting of significant spill incidents. The data was to be used to assist in directing the work of the emergencies program. NATES ran from 1974 to 1994. Extensive information is available within this database including company names, place where the spill occurred, date of spill, cause, reason and source of spill, damage incurred, and amount, concentration, and volume of materials released.

**Government Publication Date: 1974-1994\***

**Non-Compliance Reports:**

Provincial **NOPL**

The Ministry of the Environment provides information about non-compliant discharges of contaminants to air and water that exceed legal allowable limits, from regulated industrial and municipal facilities. A reported non-compliance failure may be in regard to a Control Order, Certificate of Approval, Sectoral Regulation or specific regulation/act.

**Government Publication Date: Dec 31, 2017**

**National Defense & Canadian Forces Fuel Tanks:**

Federal **NDFT**

The Department of National Defense and the Canadian Forces maintains an inventory of all aboveground & underground fuel storage tanks located on DND lands. Our inventory provides information on the base name, location, tank type & capacity, tank contents, tank class, date of tank installation, date tank last used, and status of tank as of May 2001. This database will no longer be updated due to the new National Security protocols which have prohibited any release of this database.

**Government Publication Date: Up to May 2001\***

**National Defense & Canadian Forces Spills:**

Federal NDSP

The Department of National Defense and the Canadian Forces maintains an inventory of spills to land and water. All spill sites have been classified under the "Transportation of Dangerous Goods Act - 1992". Our inventory provides information on the facility name, location, spill ID #, spill date, type of spill, as well as the quantity of substance spilled & recovered.

**Government Publication Date: Mar 1999-Apr 2018**

**National Defence & Canadian Forces Waste Disposal Sites:**

Federal NDWD

The Department of National Defence and the Canadian Forces maintains an inventory of waste disposal sites located on DND lands. Where available, our inventory provides information on the base name, location, type of waste received, area of site, depth of site, year site opened/closed and status.

**Government Publication Date: 2001-Apr 2007\***

**National Energy Board Pipeline Incidents:**

Federal NEBI

Locations of pipeline incidents from 2008 to present, made available by the National Energy Board (NEB). Includes incidents reported under the Onshore Pipeline Regulations and the Processing Plant Regulations related to pipelines under federal jurisdiction, does not include incident data related to pipelines under provincial or territorial jurisdiction.

**Government Publication Date: 2008-Dec 31, 2018**

**National Energy Board Wells:**

Federal NEBW

The NEBW database contains information on onshore & offshore oil and gas wells that are outside provincial jurisdiction(s) and are thereby regulated by the National Energy Board. Data is provided regarding the operator, well name, well ID No./UWI, status, classification, well depth, spud and release date.

**Government Publication Date: 1920-Feb 2003\***

**National Environmental Emergencies System (NEES):**

Federal NEES

In 2000, the Emergencies program implemented NEES, a reporting system for spills of hazardous substances. For the most part, this system only captured data from the Atlantic Provinces, some from Quebec and Ontario and a portion from British Columbia. Data for Alberta, Saskatchewan, Manitoba and the Territories was not captured. However, NEES is also a repository for previous Environment Canada spill datasets. NEES is composed of the historic datasets ' or Trends ' which dates from approximately 1974 to present. NEES Trends is a compilation of historic databases, which were merged and includes data from NATES (National Analysis of Trends in Emergencies System), ARTS (Atlantic Regional Trends System), and NEES. In 2001, the Emergencies Program determined that variations in reporting regimes and requirements between federal and provincial agencies made national spill reporting and trend analysis difficult to achieve. As a consequence, the department has focused efforts on capturing data on spills of substances which fall under its legislative authority only (CEPA and FA). As such, the NEES database will be decommissioned in December 2004.

**Government Publication Date: 1974-2003\***

**National PCB Inventory:**

Federal NPCB

Environment Canada's National PCB inventory includes information on in-use PCB containing equipment in Canada including federal, provincial and private facilities. Federal out-of-service PCB containing equipment and PCB waste owned by the federal government or by federally regulated industries such as airlines, railway companies, broadcasting companies, telephone and telecommunications companies, pipeline companies, etc. are also listed. Although it is not Environment Canada's mandate to collect data on non-federal PCB waste, the National PCB inventory includes some information on provincial and private PCB waste and storage sites. Some addresses provided may be Head Office addresses and are not necessarily the location of where the waste is being used or stored.

**Government Publication Date: 1988-2008\***

**National Pollutant Release Inventory:**

Federal NPRI

Environment Canada has defined the National Pollutant Release Inventory ("NPRI") as a federal government initiative designed to collect comprehensive national data regarding releases to air, water, or land, and waste transfers for recycling for more than 300 listed substances.

**Government Publication Date: 1993-May 2017**

**Oil and Gas Wells:**

Private OGW

The Nickle's Energy Group (publisher of the Daily Oil Bulletin) collects information on drilling activity including operator and well statistics. The well information database includes name, location, class, status and depth. The main Nickle's database is updated on a daily basis, however, this database is updated on a monthly basis. More information is available at [www.nickles.com](http://www.nickles.com).

**Government Publication Date: 1988-Feb 28, 2019**

**Ontario Oil and Gas Wells:**

Provincial OOGW

In 1998, the MNR handed over to the Ontario Oil, Gas and Salt Resources Corporation, the responsibility of maintaining a database of oil and gas wells drilled in Ontario. The OGSR Library has over 20,000+ wells in their database. Information available for all wells in the ERIS database include well owner/operator, location, permit issue date, and well cap date, license No., status, depth and the primary target (rock unit) of the well being drilled. All geology/stratigraphy table information, plus all water table information is also provide for each well record.

**Government Publication Date: 1800-May 2018**

**Inventory of PCB Storage Sites:**

Provincial OPCB

The Ontario Ministry of Environment, Waste Management Branch, maintains an inventory of PCB storage sites within the province. Ontario Regulation 11/82 (Waste Management - PCB) and Regulation 347 (Generator Waste Management) under the Ontario EPA requires the registration of inactive PCB storage equipment and/or disposal sites of PCB waste with the Ontario Ministry of Environment. This database contains information on: 1) waste quantities; 2) major and minor sites storing liquid or solid waste; and 3) a waste storage inventory.

**Government Publication Date: 1987-Oct 2004; 2012-Dec 2013**

**Orders:**

Provincial ORD

This is a subset taken from Ontario's Environmental Registry (EBR) database. It will include all Orders on the registry such as (EPA s. 17) - Order for remedial work, (EPA s. 18) - Order for preventative measures, (EPA s. 43) - Order for removal of waste and restoration of site, (EPA s. 44) - Order for conformity with Act for waste disposal sites, (EPA s. 136) - Order for performance of environmental measures.

**Government Publication Date: 1994-Mar 31, 2019**

**Canadian Pulp and Paper:**

Private PAP

This information is part of the Pulp and Paper Canada Directory. The Directory provides a comprehensive listing of the locations of pulp and paper mills and the products that they produce.

**Government Publication Date: 1999, 2002, 2004, 2005, 2009-2014**

**Parks Canada Fuel Storage Tanks:**

Federal PCFT

Canadian Heritage maintains an inventory of known fuel storage tanks operated by Parks Canada, in both National Parks and at National Historic Sites. The database details information on site name, location, tank install/removal date, capacity, fuel type, facility type, tank design and owner/operator.

**Government Publication Date: 1920-Jan 2005\***

**Pesticide Register:**

Provincial PES

The Ontario Ministry of the Environment and Climate Change maintains a database of licensed operators and vendors of registered pesticides.

**Government Publication Date: 1988-Sep 2018**

**TSSA Pipeline Incidents:**

Provincial PINC

List of pipeline incidents (strikes, leaks, spills) made available by the Technical Standards and Safety Authority (TSSA). Under the Technical Standards & Safety Act (2000), the TSSA regulates fuel suppliers, storage facilities, transport trucks, pipelines, contractors, and equipment or appliances that use fuels. Records are not verified for accuracy or completeness. This is not a comprehensive or complete inventory of pipeline incidents in the province. The TSSA updates information in its system on an ongoing basis; this listing is hence limited by the record date provided here.

**Government Publication Date: Feb 28, 2017**

**Private and Retail Fuel Storage Tanks:**

Provincial PRT

The Fuels Safety Branch of the Ontario Ministry of Consumer and Commercial Relations maintained a database of all registered private fuel storage tanks and licensed retail fuel outlets. This database includes an inventory of locations that have gasoline, oil, waste oil, natural gas and/or propane storage tanks on their property. The MCCR no longer collects this information. This information is now collected by the Technical Standards and Safety Authority (TSSA).

**Government Publication Date: 1989-1996\***

**Permit to Take Water:**

Provincial PTTW

This is a subset taken from Ontario's Environmental Registry (EBR) database. It will include all PTTW's on the registry such as OWRA s. 34 - Permit to take water.

**Government Publication Date: 1994-Mar 31, 2019**

**Ontario Regulation 347 Waste Receivers Summary:**

Provincial REC

Part V of the Ontario Environmental Protection Act ("EPA") regulates the disposal of regulated waste through an operating waste management system or a waste disposal site operated or used pursuant to the terms and conditions of a Certificate of Approval or a Provisional Certificate of Approval. Regulation 347 of the Ontario EPA defines a waste receiving site as any site or facility to which waste is transferred by a waste carrier. A receiver of regulated waste is required to register the waste receiving facility. This database represents registered receivers of regulated wastes, identified by registration number, company name and address, and includes receivers of waste such as: landfills, incinerators, transfer stations, PCB storage sites, sludge farms and water pollution control plants. This information is a summary of all years from 1986 including the most currently available data.

**Government Publication Date: 1986-2016**

**Record of Site Condition:**

Provincial RSC

The Record of Site Condition (RSC) is part of the Ministry of the Environment's Brownfields Environmental Site Registry. Protection from environmental cleanup orders for property owners is contingent upon documentation known as a record of site condition (RSC) being filed in the Environmental Site Registry. In order to file an RSC, the property must have been properly assessed and shown to meet the soil, sediment and groundwater standards appropriate for the use (such as residential) proposed to take place on the property. The Record of Site Condition Regulation (O. Reg. 153/04) details requirements related to site assessment and clean up.

RSCs filed after July 1, 2011 will also be included as part of the new (O.Reg. 511/09).

**Government Publication Date: 1997-Sept 2001, Oct 2004-Mar 2019**

**Retail Fuel Storage Tanks:**

Private RST

This database includes an inventory of retail fuel outlet locations (including marinas) that have on their property gasoline, oil, waste oil, natural gas and / or propane storage tanks.

**Government Publication Date: 1999-Jan 31, 2019**

**Scott's Manufacturing Directory:**

Private SCT

Scott's Directories is a data bank containing information on over 200,000 manufacturers across Canada. Even though Scott's listings are voluntary, it is the most comprehensive database of Canadian manufacturers available. Information concerning a company's address, plant size, and main products are included in this database.

**Government Publication Date: 1992-Mar 2011\***

**Ontario Spills:**

Provincial SPL

This database identifies information such as location (approximate), type and quantity of contaminant, date of spill, environmental impact, cause, nature of impact, etc. Information from 1988-2002 was part of the ORIS (Occurrence Reporting Information System). The SAC (Spills Action Centre) handles all spills reported in Ontario. Regulations for spills in Ontario are part of the MOE's Environmental Protection Act, Part X.

**Government Publication Date: 1988-Dec 2018**

**Wastewater Discharger Registration Database:**

Provincial SRDS

Information under this heading is combination of the following 2 programs. The Municipal/Industrial Strategy for Abatement (MISA) division of the Ontario Ministry of Environment maintained a database of all direct dischargers of toxic pollutants within nine sectors including: Electric Power Generation; Mining; Petroleum Refining; Organic Chemicals; Inorganic Chemicals; Pulp & Paper; Metal Casting; Iron & Steel; and Quarries. All sampling information is now collected and stored within the Sample Result Data Store (SRDS).

**Government Publication Date: 1990-Dec 31, 2016**

**Anderson's Storage Tanks:**

Private TANK

The information provided in this database was collected by examining various historical documents, which identified the location of former storage tanks, containing substances such as fuel, water, gas, oil, and other various types of miscellaneous products. Information is available in regard to business operating at tank site, tank location, permit year, permit & installation type, no. of tanks installed & configuration and tank capacity. Data contained within this database pertains only to the city of Toronto and is not warranted to be complete, exhaustive or authoritative. The information was collected for research purposes only.

**Government Publication Date: 1915-1953\***

**Transport Canada Fuel Storage Tanks:**

Federal TCFT

List of fuel storage tanks currently or previously owned or operated by Transport Canada. This inventory also includes tanks on The Pickering Lands, which refers to 7,530 hectares (18,600 acres) of land in Pickering, Markham, and Uxbridge owned by the Government of Canada since 1972; properties on this land has been leased by the government since 1975, and falls under the Site Management Policy of Transport Canada, but is administered by Public Works and Government Services Canada. This inventory provides information on the site name, location, tank age, capacity and fuel type.

**Government Publication Date: 1970-Aug 2018**

**TSSA Variances for Abandonment of Underground Storage Tanks:**

Provincial VAR

List of variances granted for abandoned tanks. Under the Technical Standards and Safety Authority (TSSA) Liquid Fuels Handling Code and Fuel Oil Code, all underground storage tanks must be removed within two years of disuse. If removal of a tank is not feasible, an application may be sought for a variance from this code requirement.

Records are not verified for accuracy or completeness. This is not a comprehensive or complete inventory of tank variances in the province. The TSSA updates information in its system on an ongoing basis; this listing is hence limited by the record date provided here.

**Government Publication Date: Feb 28, 2017**

**Waste Disposal Sites - MOE CA Inventory:**

Provincial [WDS](#)

The Ontario Ministry of Environment, Waste Management Branch, maintains an inventory of known open (active or inactive) and closed disposal sites in the Province of Ontario. Active sites maintain a Certificate of Approval, are approved to receive and are receiving waste. Inactive sites maintain Certificate(s) of Approval but are not receiving waste. Closed sites are not receiving waste. The data contained within this database was compiled from the MOE's Certificate of Approval database. Locations of these sites may be cross-referenced to the Anderson database described under ERIS's Private Source Database section, by the CA number. All new Environmental Compliance Approvals handed out after Oct 31, 2011 for Waste Disposal Sites will still be found in this database.

**Government Publication Date: Oct 2011-Mar 31, 2019**

**Waste Disposal Sites - MOE 1991 Historical Approval Inventory:**

Provincial [WDSH](#)

In June 1991, the Ontario Ministry of Environment, Waste Management Branch, published the "June 1991 Waste Disposal Site Inventory", of all known active and closed waste disposal sites as of October 30st, 1990. For each "active" site as of October 31st 1990, information is provided on site location, site/CA number, waste type, site status and site classification. For each "closed" site as of October 31st 1990, information is provided on site location, site/CA number, closure date and site classification. Locations of these sites may be cross-referenced to the Anderson database described under ERIS's Private Source Database section, by the CA number.

**Government Publication Date: Up to Oct 1990\***

**Water Well Information System:**

Provincial [WWIS](#)

This database describes locations and characteristics of water wells found within Ontario in accordance with Regulation 903. It includes such information as coordinates, construction date, well depth, primary and secondary use, pump rate, static water level, well status, etc. Also included are detailed stratigraphy information, approximate depth to bedrock and the approximate depth to the water table.

**Government Publication Date: Dec 31, 2017**

## Definitions

**Database Descriptions:** This section provides a detailed explanation for each database including: source, information available, time coverage, and acronyms used. They are listed in alphabetic order.

**Detail Report:** This is the section of the report which provides the most detail for each individual record. Records are summarized by location, starting with the project property followed by records in closest proximity.

**Distance:** The distance value is the distance between plotted points, not necessarily the distance between the sites' boundaries. All values are an approximation.

**Direction:** The direction value is the compass direction of the site in respect to the project property and/or center point of the report.

**Elevation:** The elevation value is taken from the location at which the records for the site address have been plotted. All values are an approximation. Source: Google Elevation API.

**Executive Summary:** This portion of the report is divided into 3 sections:

'Report Summary'- Displays a chart indicating how many records fall on the project property and, within the report search radii.

'Site Report Summary'-Project Property'- This section lists all the records which fall on the project property. For more details, see the 'Detail Report' section.

'Site Report Summary-Surrounding Properties'- This section summarizes all records on adjacent properties, listing them in order of proximity from the project property. For more details, see the 'Detail Report' section.

**Map Key:** The map key number is assigned according to closest proximity from the project property. Map Key numbers always start at #1. The project property will always have a map key of '1' if records are available. If there is a number in brackets beside the main number, this will indicate the number of records on that specific property. If there is no number in brackets, there is only one record for that property.

The symbol and colour used indicates 'elevation': the red inverted triangle will dictate 'ERIS Sites with Lower Elevation', the yellow triangle will dictate 'ERIS Sites with Higher Elevation' and the orange square will dictate 'ERIS Sites with Same Elevation.'

**Unplottables:** These are records that could not be mapped due to various reasons, including limited geographic information. These records may or may not be in your study area, and are included as reference.

## 8.10 – Appendix J

### Interview with Professor Katie Altoft

Q: Has the property (or adjacent properties) previously or currently been used for commercial manufacturing use, industrial facility, dry cleaner or as a gas station?

A: The current property has not been used in that way to the best of our knowledge. Can't speak for adjacent properties.

Q: Are you aware of any industrial use of hazardous material previously or presently on the site?

A: No.

Q: Have there been any structural demolitions previously on the site?

A Not that we're aware of.

Q: Are there any specific chemicals on the site?

A: Not that we're aware of.

Q: Are there any ASTs or USTs presently or previously on site?

A: Yes. AST on site. UST might have been on site previously.

Q: Have there been any forms of spills on site?

A: Nothing reported.

Q: Do you have any knowledge of any fill material that has been brought on site?

A: No.

Q: Has the site or adjacent sites for storage or related activities?

A: Yes. Transformer, various automobiles, etc. on site.

Q: Wood, paper, or pulp products?

A: Yes. Building uses paper. Not aware of any tenant manufacturing it though.

Q: Has there been any construction of asphalt or tar manufacturing?

A: Not that we're aware of?

Q: Is there road salt previously or presently on site?

A: Yes.

Q: Has there ever been a waste disposal facility here?

A: Not that we're aware of.

Q: Is there a medical, chemical, or biological laboratory on site?

A: Yes.

Q: Has it been used as a site that has been contaminated by substances migrating from other properties?

A: Not that we're aware of.

Q: Are there or have there ever been any pits, dumpsites, lagoons or ponds on or near the site.

A: On-site, not that we're aware of.

Q: Has the site ever been used for any agricultural purposes?

A: Not sure what was used historically.

Q: Are there any problems with odour on-site or from adjacent properties?

A: In the past, yes. Odours from Walker Industries. Not recently.

Q: Are there any monitoring wells on site?

A: Yes.

Q: Are there currently or in the past vent pipes, fill pipes or access ways to indicate there's a fill pipe protruding from the ground?

A: Not that we're aware of.

Q: Do you have any knowledge of leaks or stains in the past?

A: Not that we're aware of.

Q: Has there been a records review or ESA done on the site in the past?

A: Yes, but don't have access to information.

Q: What is the source of whater on site?

A: Municipal water.

Q: How is the waste collected on site?

A: By a private contractor weekly.

Q: What is the process of waste discharged on site?

A: Don't understand. Not aware of anything other than solid waste being generated on site.

Q: Are there any regulatory compliance issues on site?

A: Not that we're aware of.

Q: Based on your knowledge of the site, is there any sign of contaminants or release of contaminants on site?

A: No.

Q: Do you have anything else to add?

A: No.

#### **Interview with RCMP**

Q: Did the former Niagara detachment at 509 Glendale Avenue East have a firing range?

A: No.

## 8.11 – Appendix K

A by-law that lays out what the building owner needs to do to be able to have new construction done on site.

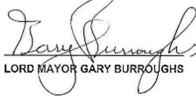
CORPORATION  
OF THE  
TOWN OF NIAGARA-ON-THE-LAKE  
BY-LAW NO. 3579-01  
(508 Glendale Avenue - Roll #18-035)


A BY-LAW TO AUTHORIZE A SITE PLAN CONTROL  
AGREEMENT BETWEEN THE CORPORATION OF THE TOWN  
OF NIAGARA-ON-THE-LAKE AND TRIVIERI INVESTMENTS  
LIMITED AND CIBC MORTGAGES INC.

BE IT ENACTED AS A BY-LAW OF THE CORPORATION OF THE TOWN OF  
NIAGARA-ON-THE-LAKE as follows:

1. THAT the agreement dated the 27th day of August, 2001 between the Corporation of the Town of Niagara-on-the-Lake and Trivieri Investments Limited and CIBC Mortgages Inc. be and the same is hereby approved.
2. THAT the Lord Mayor and Clerk be authorized to affix their hands and the Corporate Seal.
3. THAT this by-law shall come into force and take effect immediately upon the passing thereof.

READ A FIRST, SECOND AND THIRD TIME AND PASSED THIS 27TH DAY  
OF AUGUST, 2001

  
LORD MAYOR GARY BURROUGHS

  
by TOWN CLERK M.J. YAMICH

**Document General**

**D**

FOR OFFICIAL USE ONLY  070971  CERTIFICATE OF REGISTRATION NIAGARA N. (C) ET. CATARINES  01 SEP 06 PM 2:55 [Signature] LAND REGISTRATION	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:10%;"><b>(1) Registry</b> <input checked="" type="checkbox"/></td> <td style="width:10%;">Land Title <input type="checkbox"/></td> <td style="width:10%;"><b>(2) Page 1</b> of <b>16</b> pages</td> <td style="width:10%;"></td> <td style="width:10%;"></td> <td style="width:10%;"></td> </tr> <tr> <td><b>(3) Property Identifier(s)</b> 46357-0010 (R)</td> <td>Block Property</td> <td>Additional See Schedule <input type="checkbox"/></td> <td colspan="3"></td> </tr> <tr> <td colspan="6"><b>(4) Nature of Document</b> AGREEMENT</td> </tr> <tr> <td colspan="6"><b>(5) Consideration</b> Dollars \$</td> </tr> <tr> <td colspan="6"><b>(6) Description</b> Part Lot 1, Concession 10 Grantham, Part 6 on 30R-1487; Part Township Lot 182, Niagara Township, Part 2 on 30R-1487; Part Road Allowance between Township Niagara Township and Grantham (as closed by RO386579) as in RO403337, Town of Niagara on the Lake Regional Municipality of Niagara Niagara North (No. 30) as more particularly described in the Schedule attached, as previously described in Deed No. RO749907 and RO750546</td> </tr> <tr> <td colspan="6"><b>(7) This Document Contains:</b> (a) Redescription <input type="checkbox"/> (b) Schedule for: Description <input checked="" type="checkbox"/> Additional Parties <input type="checkbox"/> Other <input checked="" type="checkbox"/></td> </tr> </table> <p><b>(8) This Document provides as follows:</b> See Agreement attached.</p> <p style="text-align: right;">Continued on Schedule <input type="checkbox"/></p> <p><b>(9) This Document relates to instrument number(s)</b></p> <p><b>(10) Party(ies)</b> (Set out Status or Interest) Name(s): THE CORPORATION OF THE TOWN OF NIAGARA ON THE LAKE, by their solicitors DANIEL, BLACK, HILL, THIDUS, DeLORENZO, SHEDDEN, BONDURIE &amp; SHEPPARD LLP Signature(s): [Signature] Per: Callum Shedden Date of Signature: 2001 09 05</p> <p><b>(11) Address for Service:</b> 1593 Creek Road, Box 100, Virgil, Ontario L0S 1T0</p> <p><b>(12) Party(ies)</b> (Set out Status or Interest) Name(s): TRIVIERI INVESTMENTS LIMITED Signature(s): Date of Signature:</p> <p><b>(13) Address for Service:</b> c/o John Trivieri Sr., 20 Wakein Terrace, St. Catharines, Ontario, L2M 4K3</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:30%;"><b>(14) Municipal Address of Property:</b> 599 Glendale Avenue St. Catharines, Ontario</td> <td style="width:30%;"><b>(15) Document Prepared by:</b> Callum Shedden DANIEL, BLACK, HILL, THIDUS, DeLORENZO, SHEDDEN et al LLP P.O. Box 24022, 39 Queen Street St. Catharines, Ontario L2R 7P7 cs/tf (29953-DA)</td> <td style="width:40%;"><b>Fees and Tax</b> Registration Fee: 60 Total:</td> </tr> </table> <p style="font-size: 8px; text-align: center;">Document prepared using The Conveyancer</p>	<b>(1) Registry</b> <input checked="" type="checkbox"/>	Land Title <input type="checkbox"/>	<b>(2) Page 1</b> of <b>16</b> pages				<b>(3) Property Identifier(s)</b> 46357-0010 (R)	Block Property	Additional See Schedule <input type="checkbox"/>				<b>(4) Nature of Document</b> AGREEMENT						<b>(5) Consideration</b> Dollars \$						<b>(6) Description</b> Part Lot 1, Concession 10 Grantham, Part 6 on 30R-1487; Part Township Lot 182, Niagara Township, Part 2 on 30R-1487; Part Road Allowance between Township Niagara Township and Grantham (as closed by RO386579) as in RO403337, Town of Niagara on the Lake Regional Municipality of Niagara Niagara North (No. 30) as more particularly described in the Schedule attached, as previously described in Deed No. RO749907 and RO750546						<b>(7) This Document Contains:</b> (a) Redescription <input type="checkbox"/> (b) Schedule for: Description <input checked="" type="checkbox"/> Additional Parties <input type="checkbox"/> Other <input checked="" type="checkbox"/>						<b>(14) Municipal Address of Property:</b> 599 Glendale Avenue St. Catharines, Ontario	<b>(15) Document Prepared by:</b> Callum Shedden DANIEL, BLACK, HILL, THIDUS, DeLORENZO, SHEDDEN et al LLP P.O. Box 24022, 39 Queen Street St. Catharines, Ontario L2R 7P7 cs/tf (29953-DA)	<b>Fees and Tax</b> Registration Fee: 60 Total:
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**Schedule**

Do Process Software Ltd. • (416) 322-6111

Form 5—Land Registration Reform Act

Page 2

**S**

**TOWN OF NOTL - TRIVIERI INVESTMENTS LIMITED**

29.953-RCS

Additional Property Identifier(s) and/or Other Information

FIRSTLY: Part Lot 1, Concession 10, Grantham, being Part 6 on 30R-1487

SECONDLY: Part Township Lot 182, Niagara Township, being Part 2 on 30R-1487

THIRDLY: being in the Town of Niagara-on-the-Lake, in the Regional Municipality of Niagara, and being composed of part of the original road allowance between the former Townships of Niagara and Grantham as shown as being those parts of the said road allowance lying between Parts 2 and 6 on a Reference Plan of part of Lots 182 of the former Township of Grantham, deposited in the Registry Office for the Registry Division of Niagara North as Plan 30R-1487 (as closed by RO386579) as in RO403337.

FOR OFFICIAL USE ONLY

**THIS AGREEMENT** made in triplicate this 27th day of August, 2001.

**BETWEEN:**

**THE CORPORATION OF THE  
TOWN OF NIAGARA-ON-THE-LAKE**  
(Hereinafter called the "Town")

OF THE FIRST PART

-and-

**TRIVIERI INVESTMENTS LIMITED**  
(Hereinafter called the "Owner")

OF THE SECOND PART

-and-

**CIBC MORTGAGES INC.**  
(Hereinafter called the "Mortgagee")

OF THE THIRD PART

**WHEREAS** the Owner represents that they are the registered owners of lands located in the Town of Niagara-on-the-Lake, in the Regional Municipality of Niagara, described in Schedule "A" attached hereto and hereinafter referred to as "the lands";

**AND WHEREAS** the Owner wishes to obtain a building permit for the purpose of constructing an commercial office building, parking and vehicular access, landscaping and off site services, in accordance with Schedule "B" (the Site Plan), Schedule "C" (the Building Elevations) attached hereto, all of which plans and design standards shall comply with the Ontario Building Code, and with all Town building and zoning requirements;

**AND WHEREAS** the Town has agreed to permit the said development subject to the terms and conditions as prescribed herein;

**AND WHEREAS** the Council of the Town has adopted this Agreement and authorized its execution by By-law No. 3579-01 passed by the Corporation of the Town of Niagara-on-the-Lake on the 27th day of August, 2001.

**NOW THEREFORE THIS AGREEMENT WITNESSETH** that in consideration of the premises, and the sum of One Dollar (\$1.00) of lawful money of Canada now paid by the Owner to the Town, the receipt of which monies is hereby acknowledged, the parties hereto do mutually covenant and agree as follows:

**1. DEFINITIONS**

- 1.1 "Council" shall mean the Council of the Corporation of the Town of Niagara-on-the-Lake.
- 1.2 "Director of Public Works" shall mean the Director of Public Works of the Town of Niagara-on-the-Lake.
- 1.3 "Director of Planning & Development Services" shall mean the Director of Planning and Development Services of the Town of Niagara-on-the-Lake.
- 1.4 "Fire Chief" shall mean the Fire Chief of the Town of Niagara-on-the-Lake.
- 1.5 "Town" shall mean the Corporation of the Town of Niagara-on-the-Lake.
- 1.6 "Lands or subject lands" shall mean the lands as described in Schedule "A" attached hereto.
- 1.7 "Approved Plans" shall mean plans approved and signed by the Council for the Town of Niagara-on-the-Lake and owner depicting the proposed development. Schedule "B" and "C" of the agreement are reduced copies of the approved plans on file with the Planning and Development Services Department of the Town of Niagara-on-the-Lake.
- 1.8 "Director of Corporate Services" shall mean the Director of Corporate Services for the Town of Niagara-on-the-Lake.

**2. STORM SEWERS**

The Owner shall, at its own expense, construct such works as may be required to collect and contain all storm water on site and channel such storm water to an approved outlet in accordance with specifications and plans approved by the appropriate authority, as required, being the Ministry of the Environment and Energy, the Regional Department of Public Works, the Director of Public Works and Director of Planning and Development Services. The said plans are to be filed in the office of the Director of Public Works and accepted by the appropriate authority prior to the issuance of a building permit. In this paragraph, storm water shall include all surface water on the land including roof run-off, eavestroughs, surface catch basins and water from the foundation perimeter weeping tile.

The Owner shall amend the Storm Water Management report prepared by R. V. Anderson Associates Ltd, dated August 1978 to include the runoff from the proposed building and any other subsequent site alterations, subject to the approval of the Director of Public Works.

The Owner agrees to undertake, at its own expense, to repair, forever maintain, and where necessary replace any storm water system located on the lands identified in Schedule "A" hereto attached.

**3. SANITARY SEWER**

The Owner shall, at its own expense, construct a sanitary sewer system on the said lands to an adequate outlet to serve the building to be erected thereon and such construction to be in accordance with specifications, plans and permits approved by the Regional Public Works Department, and the Director of Public Works and/or the Director of Planning and Development Services, as required, prior to the issuance of a building permit.

The Owner undertakes, at its own expense, to repair and maintain forever any sanitary sewer system located on the said lands identified in Schedule "A", hereto attached.

The Owner acknowledges that the Director of Public Works or designate may enter upon the lands, after reasonable notice to examine or test the sanitary sewer with respect to extraneous flows both on and off site.

**4. WATER SERVICES**

The Owner shall at its own expense construct, install and forever maintain all necessary connections to existing watermains within the subject lands and all internal water supply services necessary to serve the development, such construction to be in accordance with specifications and a design approved by the Director of Public Works or Director of Planning and Development Services prior to the issuance of a building permit.

The Owner agrees at its own expense to satisfy fire flow requirements, subject to approval of the Fire Chief.

The Owner agrees to install, at its own expense, a separate fire line from the water main located on Glendale Avenue East, if required.

All water supplies shall be metered.

All fire hydrant protection for the building shall be installed in accordance with the Ontario Building Code.

- Page 4 - 509 Glendale Ave

All fire hydrant protection identified in this agreement shall be in working order and capable of being utilized prior to commencement of above ground construction.

Where fire hydrants have been installed but are not yet functional or are out of service, the hydrant shall be clearly identified (bagged) as to be not in service.

All installations so installed shall comply with the provisions of the Ministry of the Environment Act, including any amendments hereto and all regulations thereunder.

The Owner agrees that where the water supply system has not been maintained the Director of Public Works or designate may enter upon the lands, after reasonable notice having been given the Owner, and effect such repairs as are deemed necessary and that all such repairs shall be at the Owner's expense.

**5. PARKING AND DRIVEWAY**

- (a) The Owner shall, at its own expense, and at all times maintain on the said lands 433 parking spaces, including one handicapped parking space identified as such, in accordance with the requirements of Zoning By-law 500A-74 and as shown on the approved plans all to specifications and a design approved by the Director of Planning Development Services prior to the issuance of a building permit. Curbing shall be constructed along the edges of all driveways and parking areas to acceptable design standards as detailed on Schedule "B" attached.
- (b) Surface parking areas and access driveways shall be limited to the locations shown on the approved plans and to specifications and a design approved by the Director of Public Works, the Director of Planning and Development Services, in accordance with the Ontario Building Code.
- (c) The Owner shall construct, at its own expense, an emergency access to serve the proposed building, in accordance with plans and to specifications to be approved by the Fire Chief and the Director of Public Works.

- Page 5 - 509 Glendale Ave

(d) The turning radius and roadway curves for emergency vehicles must be approved by the Town's Fire Chief in accordance with the Ontario Building Code.

(e) The Owner agrees to install, at its own expense, a fire hydrant, at a location and to specifications subject to the approval of the Town's Fire Chief.

**6. LIGHTING/FLOODLIGHTING**

Floodlighting of the land or of the subject buildings as shown on Schedule "B" attached hereto shall be directed in such a way and of an intensity so as not to interfere with adjacent properties and the traveling public.

The Owner shall, at its own expense, adequately light all driveways and parking structures and areas, in accordance with a design approved by the Director of Planning and Development Services prior to the issuance of a building permit. All freestanding lighting shall be shown on Schedule "B" attached.

The Owner agrees to install at its own expense a padmount transformer, if required, at a location and to specifications and a design to be approved by the Director of Engineering and Operations for Niagara-on-the-Lake Hydro and the Director of Planning and Development Services.

The Owner is advised that an easement or Right-of-Way may be required for the installation and periodic servicing of the padmount transformer.

**7. WALKWAYS/SIDEWALKS**

The Owner shall construct such walkways on the subject site as are depicted on the Approved Plans and handicapped access to the principle entrance to the building shall be provided.

**8. ROADWAYS/ENTRANCEWAY**

The existing entranceway and parking area which presently serve the Foster Wheeler building will also service the proposed building for this phase of the development.

**9. LANDSCAPING**

The Owner shall adequately landscape, fence, plant and maintain at its own expense, all those parts of the lands as shown on Schedule "B" attached, which are not required for buildings, parking or driveways in order to provide an effective green area enhancing the general appearance of the development contemplated herein, subject to the approval of the Director of Parks & Recreation. Landscaping shall be in variety and type of vegetation plantings substantially as indicated on Schedule "B" attached.

It is understood and agreed that all trees, evergreens and shrubs on the site shall be maintained in a healthy condition and any diseased or dead trees, evergreens or shrubs shall be removed and replaced within twelve (12) months of the recognition of their deteriorated condition.

**10. GARBAGE DISPOSAL**

The Owner shall, at all times, provide adequate facilities for the collection and disposal of garbage, sanitary refuse and commercial waste in accordance with Provincial legislation and Municipal By-law, and in the event of its failing so to do, the Town or its servants or agents shall have the right to enter upon the said lands and, at the expense of the Owner, undertake the collection and disposal and recover the costs thereof by action or in like manner as municipal taxes.

The Owner shall, accommodate all garbage, sanitary refuse and commercial waste within the development to the satisfaction of the Director of Planning and Development Services of the Town.

The Owner shall, at its own expense, make suitable arrangements for the collection and disposal of all garbage, sanitary refuse and commercial waste.

**11. STORAGE**

Outside storage of building products shall be located in the area shown on Schedule "B" attached hereto.

**12. BUILDING AND SERVICES**

The Owner shall erect and the Town shall permit the erection on the said lands a commercial office building with associated secondary uses in accordance with Schedule "B" and "C" attached, provided that such plans shall comply with all building and zoning requirements of the Town.

**13. ENGINEERING, LEGAL AND INSPECTION COSTS**

- (a) The Owner shall pay to the Town, on demand, an Engineering fee to cover the costs of a thorough analysis of all plans submitted by the Owner. Such fee, shall be as set out in the Schedule of Fees for consulting Engineering Services recommended by the Association of Professional Engineers of Ontario, said fee to cover all works to be performed pursuant to this Agreement.
  
- (b) The Owner's Engineer shall, as part of the submission of engineering plans, submit construction costs estimates for the construction of the following off-site and on-site services for the approval of the Director of Planning and Development Services and/or Ministry of the Environment and the Director of Public Works as applicable:
  - (i) sanitary and storm sewers and appurtenances
  - (ii) water service and appurtenances
  - (iii) pavements, including granular base, sidewalks and curbing.
  - (iv) storm water management

The Owner shall pay all necessary fees for connection to the Town's sanitary sewer collection system, in accordance with current municipal by-laws and policies.

The Owner shall pay all necessary fees for connection to the Town's water distribution system, in accordance with current municipal by-laws and policies.

- (c) The Owner shall pay a cash deposit representing the estimated cost of off-site and on-site inspections prior to the issuance of a building permit, based on the following criteria:
  - (i) The estimated number of working days as determined by the Owner's engineer times the daily inspection costs as established by the Town.
  - (ii) Based on a rate of 4% of the estimated amount up to a maximum of \$14,000 but such amount shall not be less than \$4,500.

The Town will reimburse any excess amount and, likewise the Owner will pay any amount owing should the difference between the actual and estimated number of working days exceed 10% of the original estimated.

The Owner agrees to pay to the Corporation of the Town of Niagara-on-the-Lake, all applicable Regional and Municipal Development Charges in accordance with the current Municipal by-laws and policies.

**14. PARK DEDICATION**

In accordance with the provisions of Section 42 of the Ontario Planning Act, the Owner shall, prior to the issuance of a building permit, pay to the Corporation of the Town of Niagara-on-the-Lake, cash in the amount of 2% of the appraised value of the lands, or the value of the lands according to a recent purchase and sale agreement, described in Schedule "A" attached hereto.

The Owner shall pay for the costs of obtaining an appraisal, if required, prepared by an accredited appraiser in accordance with the Corporations requirements, and shall provide the appraisal to the Corporation in order that the Corporation may determine the market value of the lands and the amount to be paid to the Corporation for parks purposes. The appraisal and the amount to be paid to the Corporation for parks purposes shall be subject to review and acceptance by the Corporation of the Town of Niagara-on-the-Lake.

**15. GRADING**

Prior to the commencement of any site work the Owner shall submit as constructed grading plans to the Director of Planning and Development Services, prepared by Ontario Land Surveyor or Professional Engineer, showing in detail all existing and final proposed grades for the site, such specifications and design shall be approved by the Director of Public Works, Director of Planning and Development Services and the Regional Department of Public Works and subsequent plans shall be filed in the office of and certified by the Director of Planning and Development Services prior to the commencement of any site work. The said plans are to clearly indicate the existing drainage pattern on adjacent lands and provide for the direction of all surface drainage. The Owner agrees to construct and grade the lands in accordance with the plans certified by an Ontario Land Surveyor or Professional Engineer and filed in the office of the Director of Planning and Development Services.

The grading plans shall require grades to be established and maintained which, will ensure proper drainage without interference with or flooding of adjacent properties and will retain all storm water as required in paragraph 2 of this agreement. Any deviation from such grades shall constitute a violation of this agreement.

Any change to the grading plans certified and approved pursuant to this Agreement may require the submission of revised drawings prepared by an Ontario Land Surveyor or Professional Engineer which will require the review and certification of the Director of Planning and Development Services. The Owner agrees to submit grading plans upon completion of the final grading of the lands described in Schedule "A" attached. The plans shall be prepared by an Ontario Land Surveyor or Professional Engineer.

Unless otherwise approved or required by the Director of Planning and Development Services and the Director of Parks and Recreation, the Owner agrees not to alter the grades or move trees or other vegetation from the said lands until such time as a building permit is issued for the construction of the building contemplated herein on the said lands.

**16. GENERAL**

- (a) The Owner agrees to deposit with the Town, prior to the issuance of a building permit, and keep in full force and effect until completion of all on-site construction and services, an irrevocable letter of credit security deposit in the amount of \$10,000.00 or 10% of the cost of all on-site construction and services, landscaping and surface treatments including; paving, plantings, fencing, grading and similar physical elements referred to in the Planning Act under Site Plan Control, whichever is greater, to ensure that all terms of this agreement are fulfilled and that the site is left in a safe and tidy condition.
  
- (b) The Owner shall not call into question directly or indirectly in any proceedings whatsoever in law or in equity or before any administrative tribunal the right of the Town to enter into this Agreement and to enforce each and every term, covenant and condition herein contained and this Agreement may be pleaded as an estoppel against the Owner in any such proceedings.

Each of the terms of this agreement is independent of the other and in the event any term of this agreement is held to be invalid or unenforceable for any reason, then such invalidity or unenforceability shall affect that term only and the remainder of the agreement shall remain in full force and effect.

- (c) In the event of failure of the Owner to carry out any of the provisions of this Agreement, then the Municipality, its servants, or agents shall, on fifteen (15) days notice in writing of its intention so to do and forthwith in cases or emergency, have the right to enter on to the said lands and, at the expense of the Owner, do any work required hereby and further, shall have the right to recover the costs thereof by action or in like manner as municipal taxes, pursuant to the provisions of Section 326, Chapter M45 of the Municipal Act, R.S.O. 1990.
- (d) The Owner agrees that if construction has not been seriously commenced within nine months of the date of this agreement or where the construction is substantially suspended or discontinued for a period of more than one year, the Director of Planning and Development Services may revoke the building permit issued heretofore and not issue a new permit until such time as a new Agreement has been entered into. This clause is inserted to protect the Municipality from any change in its standards of service or any change in the requirements for municipal services relating to the capacity of any service to service this or any other project.

The Owner agrees that all work authorized by this agreement shall be completed within two (2) years of the date of the execution of this agreement.

- (e) The Owner agrees that it shall, upon the sale or transfer of either the said lands or any part or parts hereof, require the Purchaser or Transferee thereof, as a condition of such sale or transfer, to execute an agreement in a form satisfactory to the Town's Solicitor, agreeing to assume this Agreement and be bound by and fulfill the terms, conditions and covenants herein set forth, and containing a like covenant to this effect which said assumption agreement shall be executed by the Town, the Owner and such purchaser or transferee.

- Page 11 - 509 Glendale Ave -

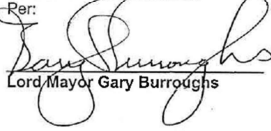
- (f) The Owner herein agrees and consents to the registration of this Agreement, at its own expense, against the title of the said lands.
- (g) The Owner shall be subject to all by-laws of the Town and shall abide by them.
- (h) Where the property is mortgaged, and the mortgagee signs this agreement, then in the event, that the mortgagee exercises any rights to sale, possession or foreclosure, or takes any other steps to enforce his security in the lands described herein, then the mortgagee shall be bound by and subject to all the terms, conditions, rights and obligations enjoyed by or borne by the Owner and this Agreement shall be read as if the terms "mortgagee" were substituted for the word "Owner" wherever it appears in this Agreement.
- (i) The Owner agrees that there shall be no open burning of waste construction materials unless specifically approved by the Town's Fire Department.
- (j) The Owner shall submit all plans required by this agreement on mylar sheets and in electronic disc format (Autocad)
- (k) The Owner shall apply to the Ministry of Transportation for the issuance of Building and Land Use and Sign Permits.
- (l) The Owner shall be required to erect and maintain appropriate silt fencing adjacent to the drainage ditch during the construction phase of development. Remedial sodding of the area around the proposed building should be completed immediately after construction to reduce sediment wash into the ditch.

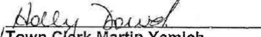
Any notice given hereunder shall be sufficiently given and addressed to:  
John Trivieri Senior, 20 Wakelin Terrace, St. Catharines, Ontario L2M 4K3.

IN WITNESS WHEREOF the parties hereto have hereunto affixed their corporate seals under the hands of their officers duly authorized in that behalf.


SIGNED, SEALED AND DELIVERED  
in the presence of:

THE CORPORATION OF THE  
TOWN OF  
NIAGARA-ON-THE-LAKE:

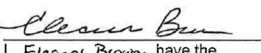
Per:  
  
Lord Mayor Gary Burroughs

  
Town Clerk Martin Yamich

TRIVIERI INVESTMENTS LIMITED

Per:  
  
I, John Trivieri Senior, have the authority to bind the Corporation.

CIBC MORTGAGES INC.

Per:  
  
I, Eleanor Brown, have the authority to bind the Corporation.



SCHEDULE "A"  
TO  
SITE PLAN CONTROL AGREEMENT  
509 GLENDALE AVENUE

Property described as Part of Lot 1, Concession 10 Grantham, being Part 6, Plan 30R-1487, Part of Township Lot 182, being Part 2, Plan 30R-1487, being in the Town of Niagara-on-the-Lake, in the Regional Municipality of Niagara, and being composed of part of the original road allowance between the former Townships of Niagara and Grantham as shown as being those parts of the said road allowance lying between Parts 2 and 6 on a Reference Plan of part of Lots 182 of the former Township of Niagara and Lot 1 in the Tenth Concession of the former Township of Grantham, deposited in the Registry Office for the Registry Division of Niagara North as Plan 30R-1487 (as closed by RO386579) as in RO403337.

PIN #46357-0010 (R)

TRIVIA INVESTMENTS LTD  
 Town TRIVIA  
 OWNER'S NAME

\_\_\_\_\_  
 SIGNATURE

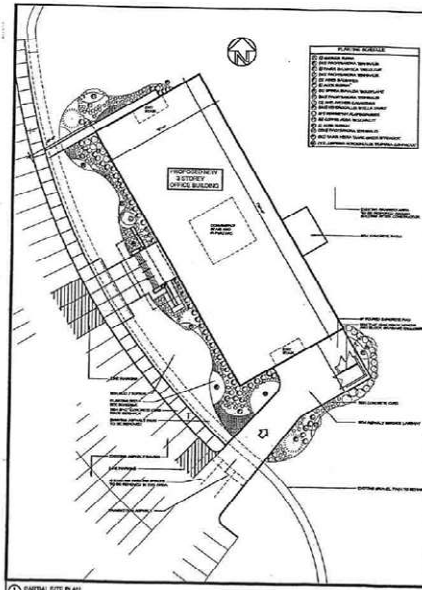
TOWN OF NAGARA-ON-THE-LAKE

*Haley David*  
 TOWN CLERK

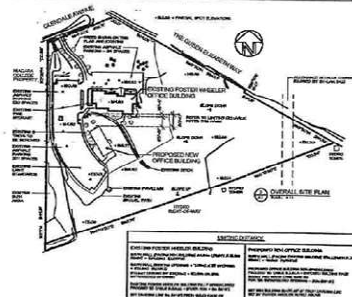
*Darryl Brough*  
 MAYOR

August 27, 2001  
 DATE

Notes:  
 1. Dimensions, Areas & Locations  
 The dimensions, areas and locations shown on this plan are approximate and may be slightly altered in the final design, providing the intent and purpose of the original plan is maintained and all relevant zoning provisions complied with.  
 2. Servicing, Grading & Drainage  
 Further and notwithstanding anything shown on this plan to the contrary, all site servicing, grading and drainage shall be in accordance with plans filed in the Office of Public Works and with the Plans approved by the Director of Public Works.



BUILDING ANALYSIS TABLE		AREA CALCULATIONS	
Plot Area	10,000 sq. ft.	Building Footprint	2,500 sq. ft.
Building Footprint	2,500 sq. ft.	Site Coverage	25%
Site Coverage	25%	Open Space	7,500 sq. ft.
Open Space	7,500 sq. ft.	Driveway Area	1,000 sq. ft.
Driveway Area	1,000 sq. ft.	Other Areas	1,500 sq. ft.
Other Areas	1,500 sq. ft.	Total Area	10,000 sq. ft.



GENERAL NOTES	
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.	
2. THE PROPOSED DRIVEWAY SHALL BE CONCRETE ON GRAVEL SUBGRADE.	
3. THE PROPOSED DRIVEWAY SHALL BE 10' WIDE AT ALL TIMES.	
4. THE PROPOSED DRIVEWAY SHALL BE 10' WIDE AT ALL TIMES.	
5. THE PROPOSED DRIVEWAY SHALL BE 10' WIDE AT ALL TIMES.	

TRIVIA INVESTMENTS LTD  
 Town TRIVIA  
 OWNER'S NAME

\_\_\_\_\_  
 SIGNATURE

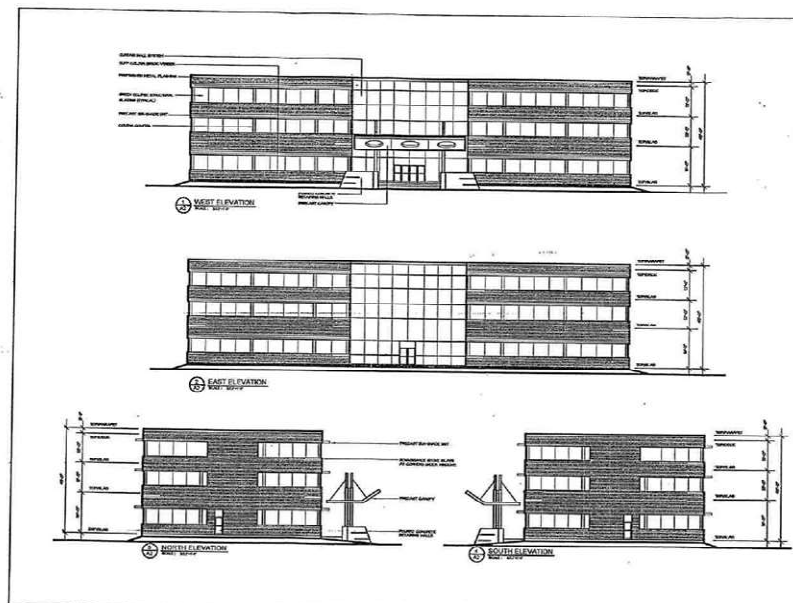
TOWN OF NAGARA-ON-THE-LAKE

*Haley David*  
 TOWN CLERK

*Darryl Brough*  
 MAYOR

August 27, 2001  
 DATE


Notes:  
 1. Dimensions, Areas & Locations  
 The dimensions, areas and locations shown on this plan are approximate and may be slightly altered in the final design, providing the intent and purpose of the original plan is maintained and all relevant zoning provisions complied with.  
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 Further and notwithstanding anything shown on this plan to the contrary, all site servicing, grading and drainage shall be in accordance with plans filed in the Office of Public Works and with the Plans approved by the Director of Public Works.



GENERAL NOTES	
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5. THE PROPOSED DRIVEWAY SHALL BE 10' WIDE AT ALL TIMES.	

## 8.11 – Appendix L

A formal agreement between the town and the building owner so that new construction may begin.

  
**The Town of Niagara-On-The-Lake**

Department of Planning & Development Services  
 TELEPHONE: (905) 468-3366  
 FACSIMILE: (905) 468-0302

1991 OMBE (RCA): P.O. BOX 102  
 WINDSOR, ONTARIO L0S 1T0

August 7, 2001  
 Planning Report PDS-01-119

**REPORT TO:** Planning Advisory Committee  
**SUBJECT:** Trivier Office Building  
 509 Glendale Avenue  
 Part of Lot 1, Concession 10  
 Site Plan Control Agreement Application

**Background**

An application has been received to enter into a site plan control agreement with the Town of Niagara-on-the-Lake to construct a three (3) storey commercial office building consisting of 4740 square metres. The proposed building is located within the Foster Wheeler site in the Glendale Industrial Area, having an overall area of 25.42 acres. A net total of 433 parking spaces are provided, 412 spaces are required in accordance with the Zoning By-Law, leaving a surplus of 21 spaces.

The subject property is designated "Prestige Industrial" in the Town's Official Plan. According to By-Law 500A-74, as amended, and further amended by By-Law 500L-7-98, the property is zoned "Prestige Industrial (M9) Zone" which permits proposed use of the building site.

The site plan has been reviewed by Town Departments, LACAC, Senior Staff, affected agencies, the Lord Mayor and Council. Comments received from the circulator agencies have been responded to by the applicant and the appropriate amendments made. A draft site plan agreement has been prepared and has been attached as Appendix A.

**Recommendation**

That the draft site plan agreement be forwarded to the Owners for review and signature.

Prepared by: *Susan Wheeler*  
 Susan Wheeler, MCIP, RPP  
 Consulting Planner

Respectfully Submitted:  
*John Parry*  
 John Parry, MCIP, RPP  
 Town Planner

*William Walker*  
 William Walker  
 Director, Planning & Development Services

L. Holloway  
 Chief Administrative Officer

Tel # 1-8-035

First Capital of Upper Canada - 1792

CORPORATION  
 OF THE  
 TOWN OF NIAGARA-ON-THE-LAKE  
 BY-LAW NO. \_\_\_\_\_-01  
 (509 Glendale Avenue - Roll #18-035)

**A BY-LAW TO AUTHORIZE A SITE PLAN CONTROL AGREEMENT  
 BETWEEN THE CORPORATION OF THE TOWN OF  
 NIAGARA-ON-THE-LAKE, JOHN TRIVIER SENIOR AND THE  
 CIBC.**

**BE IT ENACTED AS A BY-LAW OF THE CORPORATION OF THE TOWN  
 OF NIAGARA-ON-THE-LAKE as follows:**

1. THAT the agreement dated the 27th day of August, 2001 between the Corporation of the Town of Niagara-on-the-Lake, John Trivier Senior and the CIBC be and the same is hereby approved.
2. THAT the Lord Mayor and Clerk be authorized to affix their hands and the Corporate Seal.
3. THAT this by-law shall come into force and take effect immediately upon the passing thereof.

**READ A FIRST, SECOND AND THIRD TIME AND PASSED THIS 27TH  
 DAY OF AUGUST, 2001.**

\_\_\_\_\_  
 LORD MAYOR GARY BURROUGHS

\_\_\_\_\_  
 TOWN CLERK M.J. YAMCII

THIS AGREEMENT made in triplicate this 27th day of August, 2001.

**BETWEEN:**

THE CORPORATION OF THE  
TOWN OF NIAGARA-ON-THE-LAKE  
(Hereinafter called the "Town")

OF THE FIRST PART

-and-

JOHN TRIVIERI SENIOR  
(Hereinafter called the "Owner")

OF THE SECOND PART

-and-

CIBC  
(Hereinafter called the "Mortgagee")

OF THE THIRD PART

WHEREAS the Owners represent that they are to be the registered Owners of lands located in the Town of Niagara-on-the-Lake, in the Regional Municipality of Niagara, described in Schedule "A" attached hereto and hereinafter referred to as "the lands";

AND WHEREAS the Owners wish to obtain a building permit for the purpose of constructing an commercial office building, parking and vehicular access, landscaping and off site services, in accordance with Schedule "B" (the Site Plan), Schedule "C" (the Building Elevations) attached hereto, all of which plans and design standards shall comply with the Ontario Building Code, and with all Town building and zoning requirements;

AND WHEREAS the Town has agreed to permit the said development subject to the terms and conditions as prescribed herein;

AND WHEREAS the Council of the Town has adopted this Agreement and authorized its execution by By-law No. \_\_\_\_\_01 passed by the Corporation of the Town of Niagara-on-the-Lake on the 27th day of August, 2001.

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the premises, and the sum of One Dollar (\$1.00) of lawful money of Canada now paid by the Owner to the Town, the receipt of which monies is hereby acknowledged, the parties hereto do mutually covenant and agree as follows:

- Page 2 - 509 Glendale Ave -

**1. DEFINITIONS**

- 1.1 "Council" shall mean the Council of the Corporation of the Town of Niagara-on-the-Lake.
- 1.2 "Director of Public Works" shall mean the Director of Public Works of the Town of Niagara-on-the-Lake.
- 1.3 "Director of Planning & Development Services" shall mean the Director of Planning and Development Services of the Town of Niagara-on-the-Lake.
- 1.4 "Fire Chief" shall mean the Fire Chief of the Town of Niagara-on-the-Lake.
- 1.5 "Town" shall mean the Corporation of the Town of Niagara-on-the-Lake.
- 1.6 "Lands or subject lands" shall mean the lands as described in Schedule "A" attached hereto.
- 1.7 "Approved Plans" shall mean plans approved and signed by the Council for the Town of Niagara-on-the-Lake and owner depicting the proposed development. Schedule "B" and "C" of the agreement are reduced copies of the approved plans on file with the Planning and Development Services Department of the Town of Niagara-on-the-Lake.
- 1.8 "Director of Corporate Services" shall mean the Director of Corporate Services for the Town of Niagara-on-the-Lake.

**2. STORM SEWERS**

The Owner shall, at its own expense, construct such works as may be required to collect and contain all storm water on site and channel such storm water to an approved outlet in accordance with specifications and plans approved by the appropriate authority, as required, being the Ministry of the Environment and Energy, the Regional Department of Public Works, the Director of Public Works and Director of Planning and Development Services. The said plans are to be filed in the office of the Director of Public Works and accepted by the appropriate authority prior to the issuance of a building permit. In this paragraph, storm water shall include all surface water on the land including roof run-off, eavestroughs, surface catch basins and water from the foundation perimeter weeping tile.

The Owner shall amend the Storm Water Management report prepared by R. V. Anderson Associates Ltd, dated August 1978 to include the runoff from the proposed building and any other subsequent site alterations, subject to the approval of the Director of Public Works.

- Page 3 - 509 Glendale Ave -

The Owner agrees to undertake, at its own expense, to repair, forever maintain, and where necessary replace any storm water system located on the lands identified in Schedule "A" hereto attached.

3. **SANITARY SEWER**

The Owner shall, at its own expense, construct a sanitary sewer system on the said lands to an adequate outlet to serve the building to be erected thereon and such construction to be in accordance with specifications, plans and permits approved by the Regional Public Works Department, and the Director of Public Works and/or the Director of Planning and Development Services, as required, prior to the issuance of a building permit.

The Owner undertakes, at its own expense, to repair and maintain forever any sanitary sewer system located on the said lands identified in Schedule "A", hereto attached.

The Owner acknowledges that the Director of Public Works or designate may enter upon the lands, after reasonable notice to examine or test the sanitary sewer with respect to extraneous flows both on and off site.

4. **WATER SERVICES**

The Owner shall at its own expense construct, install and forever maintain all necessary connections to existing watermains within the subject lands and all internal water supply services necessary to serve the development, such construction to be in accordance with specifications and a design approved by the Director of Public Works or Director of Planning and Development Services prior to the issuance of a building permit.

The Owner agrees at its own expense to satisfy fire flow requirements, subject to approval of the Fire Chief.

The Owner agrees to install, at its own expense, a separate fire line from the water main located on Glendale Avenue East, if required.

All water supplies shall be metered.

All fire hydrant protection for the building shall be installed in accordance with the Ontario Building Code.

- Page 4 - 509 Glendale Ave -

All fire hydrant protection identified in this agreement shall be in working order and capable of being utilized prior to commencement of above ground construction.

Where fire hydrants have been installed but are not yet functional or are out of service, the hydrant shall be clearly identified (tagged) as to be not in service.

All installations so installed shall comply with the provisions of the Ministry of the Environment Act, including any amendments hereto and all regulations thereunder.

The Owner agrees that where the water supply system has not been maintained the Director of Public Works or designate may enter upon the lands, after reasonable notice having been given the Owner, and effect such repairs as are deemed necessary and that all such repairs shall be at the Owner's expense.

5. **PARKING AND DRIVEWAY**

(a) The Owner shall, at its own expense, and at all times maintain on the said lands 433 parking spaces, including one handicapped parking space identified as such, in accordance with the requirements of Zoning By-law 500A-74 and as shown on the approved plans all to specifications and a design approved by the Director of Planning Development Services prior to the issuance of a building permit. Curbing shall be constructed along the edges of all driveways and parking areas to acceptable design standards as detailed on Schedule "B" attached.

(b) Surface parking areas and access driveways shall be limited to the locations shown on the approved plans and to specifications and a design approved by the Director of Public Works, the Director of Planning and Development Services, in accordance with the Ontario Building Code.

(c) The Owner shall construct, at its own expense, an emergency access to serve the proposed building, in accordance with plans and to specifications to be approved by the Fire Chief and the Director of Public Works.

(d) The turning radius and roadway curves for emergency vehicles must be approved by the Town's Fire Chief in accordance with the Ontario Building Code.

(e) The Owner agrees to install, at its own expense, a fire hydrant, at a location and to specifications subject to the approval of the Town's Fire Chief.

6. LIGHTING/FLOODLIGHTING

Floodlighting of the land or of the subject buildings as shown on Schedule "B" attached hereto shall be directed in such a way and of an intensity so as not to interfere with adjacent properties and the traveling public.

The Owner shall, at its own expense, adequately light all driveways and parking structures and areas, in accordance with a design approved by the Director of Planning and Development Services prior to the issuance of a building permit. All freestanding lighting shall be shown on Schedule "B" attached.

The Owner agrees to install at its own expense a padmount transformer, if required, at a location and to specifications and a design to be approved by the Director of Engineering and Operations for Niagara-on-the-Lake Hydro and the Director of Planning and Development Services.

The Owner is advised that an easement or Right-of-Way may be required for the installation and periodic servicing of the padmount transformer.

7. WALKWAYS/SIDEWALKS

The Owner shall construct such walkways on the subject site as are depicted on the Approved Plans and handicapped access to the principle entrance to the building shall be provided.

8. ROADWAYS/ENTRANCEWAY

The existing entranceway and parking area which presently serve the Foster Wheeler building will also service the proposed building for this phase of the development. The Owner acknowledges that direct access from the QEW/Glendale Avenue Interchange will not be permitted.

9. LANDSCAPING

The Owner shall adequately landscape, fence, plant and maintain at its own expense, all those parts of the lands as shown on Schedule "B" attached, which are not required for buildings, parking or driveways in order to provide an effective green area enhancing the general appearance of the development contemplated herein, subject to the approval of the Director of Parks & Recreation. Landscaping shall be in variety and type of vegetation plantings substantially as indicated on Schedule "B" attached.

It is understood and agreed that all trees, evergreens and shrubs on the site shall be maintained in a healthy condition and any diseased or dead trees, evergreens or shrubs shall be removed and replaced within twelve (12) months of the recognition of their deteriorated condition.

10. GARBAGE DISPOSAL

The Owner shall, at all times, provide adequate facilities for the collection and disposal of garbage, sanitary refuse and commercial waste in accordance with Provincial legislation and Municipal By-law, and in the event of its failing so to do, the Town or its servants or agents shall have the right to enter upon the said lands and, at the expense of the Owner, undertake the collection and disposal and recover the costs thereof by action or in like manner as municipal taxes.

The Owner shall, accommodate all garbage, sanitary refuse and commercial waste within the development to the satisfaction of the Director of Planning and Development Services of the Town.

The Owner shall, at its own expense, make suitable arrangements for the collection and disposal of all garbage, sanitary refuse and commercial waste.

11. STORAGE

Outside storage of building products shall be located in the area shown on Schedule "B" attached hereto.

12. BUILDING AND SERVICES

The Owner shall erect and the Town shall permit the erection on the said lands a commercial office building with associated secondary uses in accordance with Schedule "B" and "C" attached, provided that such plans shall comply with all building and zoning requirements of the Town.

**13. ENGINEERING, LEGAL AND INSPECTION COSTS**

- (a) The Owners shall pay to the Town, on demand, an Engineering fee to cover the costs of a thorough analysis of all plans submitted by the Owners. Such fee shall be as set out in the Schedule of Fees for consulting Engineering Services recommended by the Association of Professional Engineers of Ontario, said fee to cover all works to be performed pursuant to this Agreement.
- (b) The Owner's Engineer shall, as part of the submission of engineering plans, submit construction costs estimates for the construction of the following off-site and on-site services for the approval of the Director of Planning and Development Services and/or Ministry of the Environment and the Director of Public Works as applicable:
- (i) sanitary and storm sewers and appurtenances
  - (ii) water service and appurtenances
  - (iii) pavements, including granular base, sidewalks and curbing.
  - (iv) storm water management

The Owner shall pay all necessary fees for connection to the Town's sanitary sewer collection system, in accordance with current municipal by-laws and policies.

The Owner shall pay all necessary fees for connection to the Town's water distribution system, in accordance with current municipal by-laws and policies.

- (c) The Owner shall pay a cash deposit representing the estimated cost of off-site and on-site inspections prior to the issuance of a building permit, based on the following criteria:
- (i) The estimated number of working days as determined by the Owner's engineer times the daily inspection costs as established by the Town.
  - (ii) Based on a rate of 4% of the estimated amount up to a maximum of \$14,000 but such amount shall not be less than \$4,500

The Town will reimburse any excess amount and, likewise the Owner will pay any amount owing should the difference between the actual and estimated number of working days exceed 10% of the original estimated.

The Owner agrees to pay to the Corporation of the Town of Niagara-on-the-Lake, all applicable Regional and Municipal Development Charges in accordance with the current Municipal by-laws and policies.

**14. PARK DEDICATION**

In accordance with the provisions of Section 42 of the Ontario Planning Act, the Owner shall, prior to the issuance of a building permit, pay to the Corporation of the Town of Niagara-on-the-Lake, cash in the amount of 2% of the appraised value of the lands, or the value of the lands according to a recent purchase and sale agreement, described in Schedule 'A' attached hereto.

The Owner shall pay for the costs of obtaining an appraisal, if required, prepared by an accredited appraiser in accordance with the Corporations requirements, and shall provide the appraisal to the Corporation in order that the Corporation may determine the market value of the lands and the amount to be paid to the Corporation for parks purposes. The appraisal and the amount to be paid to the Corporation for parks purposes shall be subject to review and acceptance by the Corporation of the Town of Niagara-on-the-Lake.

**15. GRADING**

Prior to the commencement of any site work the Owner shall submit as constructed grading plans to the Director of Planning and Development Services, prepared by Ontario Land Surveyor or Professional Engineer, showing in detail all existing and final proposed grades for the site, such specifications and design shall be approved by the Director of Public Works, Director of Planning and Development Services and the Regional Department of Public Works and subsequent plans shall be filed in the office of and certified by the Director of Planning and Development Services prior to the commencement of any site work. The said plans are to clearly indicate the existing drainage pattern on adjacent lands and provide for the direction of all surface drainage. The Owner agrees to construct and grade the lands in accordance with the plans certified by an Ontario Land Surveyor or Professional Engineer and filed in the office of the Director of Planning and Development Services.

The grading plans shall require grades to be established and maintained which, will ensure proper drainage without interference with or flooding of adjacent properties and will retain all storm water as required in

paragraph 2 of this agreement. Any deviation from such grades shall constitute a violation of this agreement.

Any change to the grading plans certified and approved pursuant to this Agreement may require the submission of revised drawings prepared by an Ontario Land Surveyor or Professional Engineer which will require the review and certification of the Director of Planning and Development Services. The Owner agrees to submit grading plans upon completion of the final grading of the lands described in Schedule "A" attached. The plans shall be prepared by an Ontario Land Surveyor or Professional Engineer.

Unless otherwise approved or required by the Director of Planning and Development Services and the Director of Parks and Recreation, the Owner agrees not to alter the grades or move trees or other vegetation from the said lands until such time as a building permit is issued for the construction of the building contemplated herein on the said lands.

16. GENERAL

- (a) The Owner agrees to deposit with the Town, prior to the issuance of a building permit, and keep in full force and effect until completion of all on-site construction and services, an irrevocable letter of credit security deposit in the amount of \$10,000.00 or 10% of the cost of all on-site construction and services, landscaping and surface treatments including: paving, plantings, fencing, grading and similar physical elements referred to in the Planning Act under Site Plan Control, whichever is greater, to ensure that all terms of this agreement are fulfilled and that the site is left in a safe and tidy condition.
- (b) The Owner shall not call into question directly or indirectly in any proceedings whatsoever in law or in equity or before any administrative tribunal the right of the Town to enter into this Agreement and to enforce each and every term, covenant and condition herein contained and this Agreement may be pleaded as an estoppel against the Owner in any such proceedings.

Each of the terms of this agreement is independent of the other and in the event any term of this agreement is held to be invalid or unenforceable for any reason, then such invalidity or unenforceability shall affect that term only and the remainder of the agreement shall remain in full force and effect.

- (c) In the event of failure of the Owner to carry out any of the provisions of this Agreement, then the Municipality, its servants, or agents shall, on fifteen (15) days notice in writing of its intention so to do and forthwith in cases of emergency, have the right to enter on to the said lands and, at the expense of the Owner, do any work required hereby and further, shall have the right to recover the costs thereof by action or in like manner as municipal taxes, pursuant to the provisions of Section 326, Chapter M45 of the Municipal Act, R.S.O. 1990.
- (d) The Owner agrees that if construction has not been seriously commenced within six months of the date of this agreement or where the construction is substantially suspended or discontinued for a period of more than one year, the Director of Planning and Development Services may revoke the building permit issued heretofore and not issue a new permit until such time as a new Agreement has been entered into. This clause is inserted to protect the Municipality from any change in its standards of service or any change in the requirements for municipal services relating to the capacity of any service to service this or any other project.

The Owner agrees that all work authorized by this agreement shall be completed within two (2) years of the date of the execution of this agreement.

- (e) The Owner agrees that it shall, upon the sale or transfer of either the said lands or any part or parts hereof, require the Purchaser or Transferee thereof, as a condition of such sale or transfer, to execute an agreement in a form satisfactory to the Town's Solicitor, agreeing to assume this Agreement and be bound by and fulfill the terms, conditions and covenants herein set forth, and containing a like covenant to this effect which said assumption agreement shall be executed by the Town, the Owner and such purchaser or transferee.

- (f) The Owner herein agrees and consents to the registration of this Agreement, at its own expense, against the title of the said lands.
- (g) The Owner shall be subject to all by-laws of the Town and shall abide by them.
- (h) Where the property is mortgaged, and the mortgagee signs this agreement, then in the event, that the mortgagee exercises any rights to sale, possession or foreclosure, or takes any other steps to enforce his security in the lands described herein, then the mortgagee shall be bound by and subject to all the terms, conditions, rights and obligations enjoyed by or borne by the Owner and this Agreement shall be read as if the terms "mortgagee" were substituted for the word "Owner" wherever it appears in this Agreement.
- (i) The Owner agrees that there shall be no open burning of waste construction materials unless specifically approved by the Town's Fire Department.
- (j) The Owner's shall submit all plans required by this agreement on mylar sheets and in electronic disc format (Autocad)
- (k) The Owner shall apply to the Ministry of Transportation for the issuance of Building and Land Use and Sign Permits.
- (l) The Owner shall be required to erect and maintain appropriate silt fencing adjacent to the drainage ditch during the construction phase of development. Remedial sodding of the area around the proposed building should be completed immediately after construction to reduce sediment wash into the ditch.

Any notice given hereunder shall be sufficiently given and addressed to:  
John Trivieri Senior, 20 Wakelin Terrace, St. Catharines, Ontario L2M 4K3.

IN WITNESS WHEREOF the parties hereto have hereunto affixed their corporate seals under the hands of their officers duly authorized in that behalf.

SIGNED, SEALED AND DELIVERED  
in the presence of:

THE CORPORATION OF THE TOWN  
OF NIAGARA-ON-THE-LAKE  
Per:

\_\_\_\_\_  
Lord Mayor Gary Burroughs

\_\_\_\_\_  
Town Clerk Martin Yamich

TRIVIERI INVESTMENTS LIMITED  
Per:

\_\_\_\_\_  
I, John Trivieri Senior, have the  
authority to bind the Corporation.

CIBC  
Per:

\_\_\_\_\_  
I, Diane DeLuca, have the authority to  
bind the Corporation.



## 8.12 – Appendix M

### A property assessment of the site

PRA File No. 17241A-J-18  
509 Glendale Avenue, Niagara-on-the-Lake

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#### NCBC Site

##### Location

The subject site is located along the south east side of Glendale Avenue East between the QEW and Taylor Road. It is situated at the end of the Glendale Avenue East, a cul-de-sac. The subject property has views of the Queen Elizabeth Way as its northern property line abuts the highway.

##### Site Area, Configuration and Dimensions

The subject site is irregular in configuration. It has a total site area of 32.84 acres with the following dimensions:

Northern Perimeter	:	1,592.81 Feet
Eastern Perimeter	:	436.92 Feet
Southern Perimeter	:	1,916.01 Feet
Western Perimeter	:	1,271.98 Feet

##### Registered Easements/Rights-of-Way

Registered on May 31 1978, Document RO378567 is an agreement between Foster Wheeler Limited (Grantor) and the Corporation of the Town of Niagara-On-The-Lake, (Grantee) whereby the Grantor grants easement rights to the Grantee to install, maintain and repair a sanitary sewer force main under the surface of the lands identified as Part 1 on Plan 30R-2298. The easement area is situated in the southwestern part of the property and consists of 0.604 acres.

##### Positioning of Improvements and General Functionality

The positioning of improvements on the subject site permits general functionality and augments accessibility, maneuverability and parking.

\* \*

**Niagara Peninsula Conservation Authority (NPCA)**

Two tributaries of the Six Mile Creek traverse the subject site. One of the tributaries is situated along the western edge of the subject site adjacent to the parking area while the other is situated on the eastern portion of the property where it extends along the edge of the QEW and southerly dissecting the property.

Further development of the subject site requires 15-metre (development-free) setback extending

**from the tributaries. According to the Niagara Peninsula Conservation Authority (the "NPCA") and the map, the tributaries and this setback impact a total of 5.41 acres of the subject site. The NPCA indicates the tributaries do not impact or limit the future development of the remaining excess land. However, approval of any further development of the subject site is required from the NPCA, which will address (a) any interference and changes to the tributaries and (b) any changes to the existing site elevations with specific consideration given to soil erosion and stability. Notably, the NPCA reports the subject site is not currently subject to a flood plan.**

**Roadway Frontage and Vehicular Accessibility**

The subject site has roadway frontages of 436.92 feet along Glendale Avenue East and 1,592.81 feet along the QEW. To this effect, the subject site offers good exposure and visibility to a large vehicular traffic volume along the QEW. Vehicular access to the subject site is available by means of one access point located along Glendale Avenue East, a cul-de-sac. Generally, accessibility is considered to be arduous.

**Ministry of Transportation Ontario (MTO)**

According to the Ministry of Transportation Ontario ("MTO"), development of the excess land of the subject property will require approval from MTO and adherence to the following criteria:

- o Any development will have to be set back 14 metres from the QEW Right-of-Way limit. This includes all permanent buildings/structure above and below ground, utilities, frontage roads, fire routes, essential parking spaces, storm water management facilities including ponds, associated berms and noise walls;
  - o Completion of a detailed storm water management study, grading and drainage plans indicating for the treatment of the calculated runoff for the 5, 10, 25, 50 and 100 year, regional storms and its impact on the QEW Right-of-Way;
  - o A detailed traffic impact study at full build-out depicting the impact of the anticipated increase in traffic volumes and any changes or improvement measures, if any, to the interchange ramps and entrance to Glendale Avenue;
-

- o MTO building and land use permits will be required prior to any grading and/or construction of any buildings within 46 metres of the highway property limit and within 396 metres of the highway intersection roadway;
- o Building and land use permits will be required for any storm water management pond(s) servicing the development.

**Potential Archaeological Areas**

Discussions with the Town of NOTL indicate there may be areas of the subject property containing potentially important archaeological materials.

Road Type	:	Interior
Number of Lanes	:	2
Visibility	:	Good
Paved Street	:	Yes
Sidewalk	:	No
Curb and Gutter	:	No
Public Electricity	:	Yes
Water Supply	:	Municipal (250mm water main along Glendale Avenue East)
Natural Gas	:	Yes
Sanitary Sewers	:	Municipal (375mm sanitary sewer)
Storm Sewers	:	Nil
Storm Water	:	On-Site SWM System
Street Lights	:	Yes

The subject property has access to a 200mm water supply for fire line hydrant use by the local fire department. The local fire department indicates that development of the excess land requires (a) a new water supply line and fire hydrant should new buildings be situated in excess of 90 metres from roadway and (b) adherence to fire-related building codes.

## 5.0 Description of Improvements

### Nature of Improvements

Constructed in 1980, the subject building is a brick office building containing main and sub basement areas.

### Office Building Classification

The NCBC is considered to be a Class B office building with a functional central design. Its general market profile is considered to be good.

Summary of Building Areas

Level	Usable Area (SF)	Rentable Area (SF)	Gross Area (SF)
Ground Floor	23,458.7	25,924.5	28,619.3
Second Floor	24,537.1	28,105.5	28,795.7
Third Floor	24,504.9	28,068.7	28,733.6
Total	72,500.7	82,098.7	86,148.6

### Roof

The entire roof of the subject building is accessible via an internal roof hatch. It is comprised of a flat, built up roof system consisting of tar and gravel compound. The **building's** roof is considered to be in poor-to-fair condition.

### Architectural and Building Envelope Systems

The **building's** architectural and building envelope components are considered to be in fair condition.

### Structural Components

The **building's** structural components are considered to be in fair condition with no evidence of major structural distress observed in areas visible for review.

**Interior Elements**

The **building's** interior elements are considered to be in fair condition.

**Exterior Site Features**

The **building's** exterior elements are considered to be in fair condition.

**Physical Deterioration**

Varying degrees of physical deterioration impact the subject building. Notwithstanding, it seems to be largely attributable to age, normal wear and tear and the deferring of maintenance. Certain elements of the subject building were updated to comply with accessibility standards pursuant to Ontario Regulation 368/13. In addition, the common areas of the building were renovated were also renovated with paint, tile and carpet.

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### Summary of Existing Improvements

1.	Building Name	:	Niagara Corporate Business Centre
2.	Date of Construction	:	1978-1980
3.	Date of Last Renovation	:	2011-2017
4.	Building Type and Use	:	Office Space
5.	Total Gross Floor Area	:	86,149 SF
6.	No. of Storeys	:	3 Plus Full Basement

### Substructure

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1.	Foundation	:	Reinforced Pour Concrete
2.	Foundation Walls	:	Reinforced Pour Concrete
3.	Columns	:	Reinforced Pour Concrete

### Superstructure

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1.	Exterior Walls	:	Combination Concrete Block/Brick Veneer
2.	Exterior Doors	:	Metal Frame, Combination Metal & Glass
3.	Windows	:	Metal Frame, Thermal Pane
4.	Façade	:	Metal Flash
5.	Roof	:	Flat, Tar & Gravel Compound (15 Years Old)
6.	Joists	:	Steel
7.	Loading	:	Common Loading Dock
8.	Drive-in Doors	:	Nil

### Interior Description

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1.	Interior Walls	:	Combination Brick, Architectural Brick, Ceramic Tiles, Drywall
2.	Floor System	:	Reinforced Poured Concrete
3.	Floor Covering	:	Combination Ceramic Tile, Commercial Grade Carpet

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- |    |                     |   |   |
|----|---------------------|---|---|
| 4. | Ceilings            | : | Suspended T-Bar Acoustic Tile                                     |
| 5. | Washrooms           | : | Common  |
| 6. | Interior Stairwells | : | 1 Finished; 2 Basic Finishing                                     |
| 7. | Shipping/Receiving  | : | Truck Level Poured Concrete Loading Dock with Common Storage Area |

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#### **Mechanical Systems**

- |    |                         |   |   |
|----|-------------------------|---|---|
| 1. | Heating                 | : | Hot Water Boiler System (3 Boilers Plus 2 Natural Gas Units and Back-up Oil-Fired Boiler) |
| 2. | Air Conditioning        | : | Central; Chiller System   |
| 3. | Water                   | : | Municipal Service   |
| 4. | Hot Water Storage       | : | 2 Natural Gas Units   |
| 5. | Plumbing                | : | Copper Supply Lines and ABS Plastic Drains  |
| 6. | Elevators               | : | 1   |
| 7. | Fire Protection         | : | Sprinkler System  |
| 8. | Alarm/Safety Protection | : | Security System with Emergency Lighting   |

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#### **Electrical Systems**

- |    |                  |   |   |
|----|------------------|---|---|
| 1. | Primary Service  | : | 1600 Ampere, 3-Phase with a 1000KVA Transformer and 75KVA Transformer |
| 2. | Primary Lighting | : | Florescent Tube   |

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#### **Exterior Improvements**

- |    |                      |   |  |
|----|----------------------|---|--|
| 1. | Site Covering        | : | Combination Asphalt, Grass/Shrubs and Natural Vegetation |
| 2. | Lighting             | : | Florescent Tube  |
| 3. | Fencing              | : | Nil  |
| 4. | Walkways             | : | Poured Concrete  |
| 5. | Ancillary Structures | : | Storage Shed (Nominal Value)                             |

Diagram of Subject Building

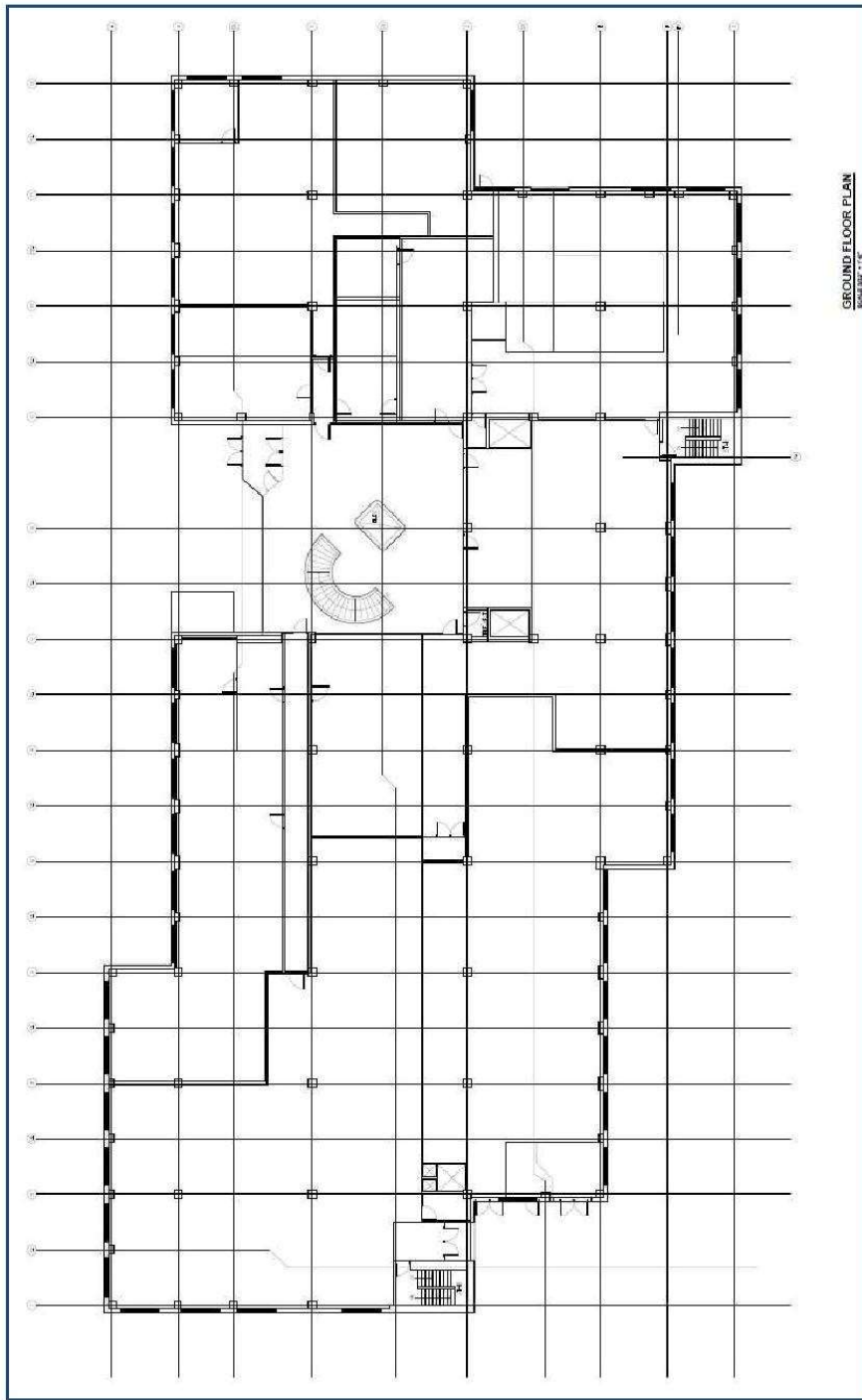


Diagram of Subject Building

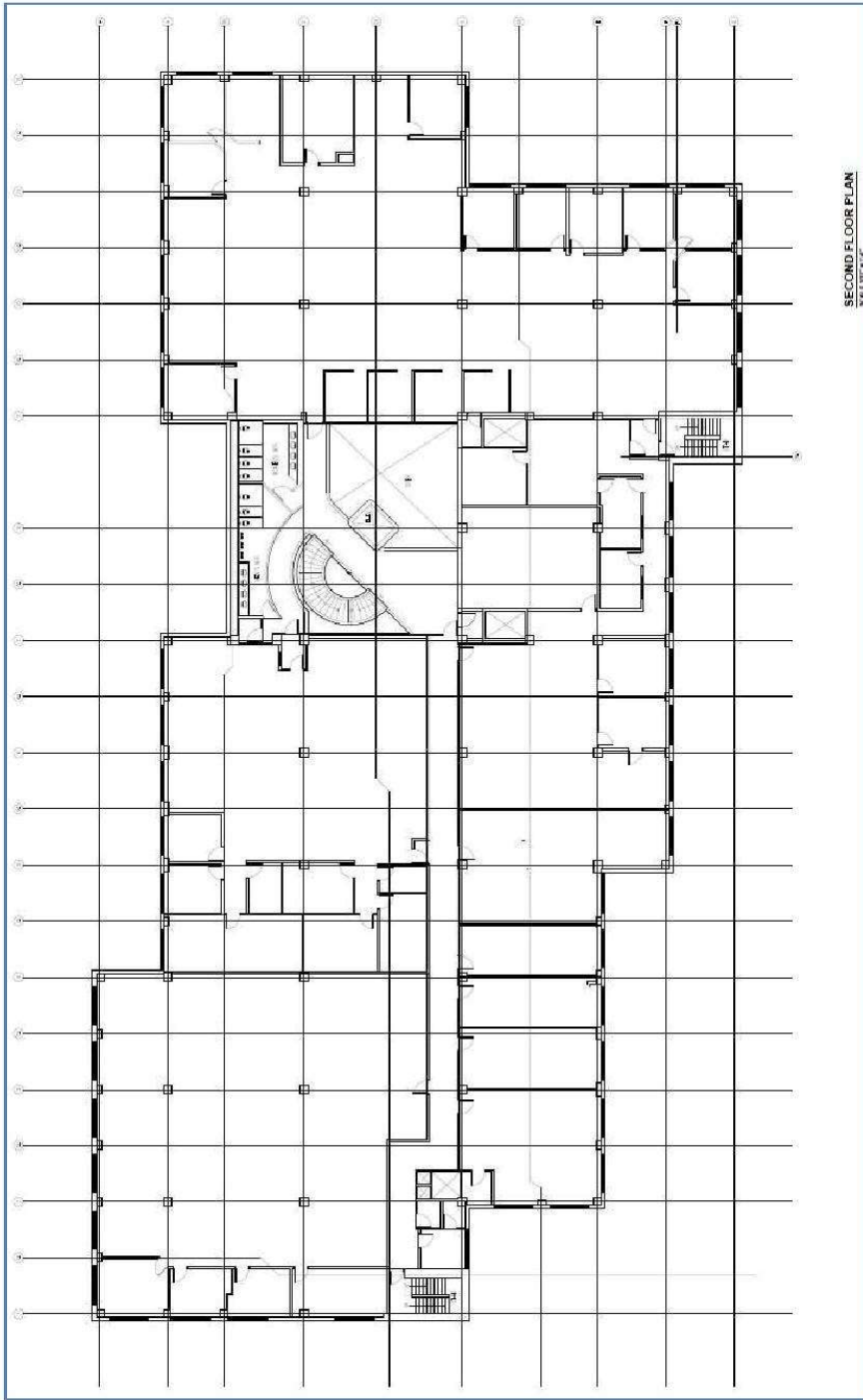
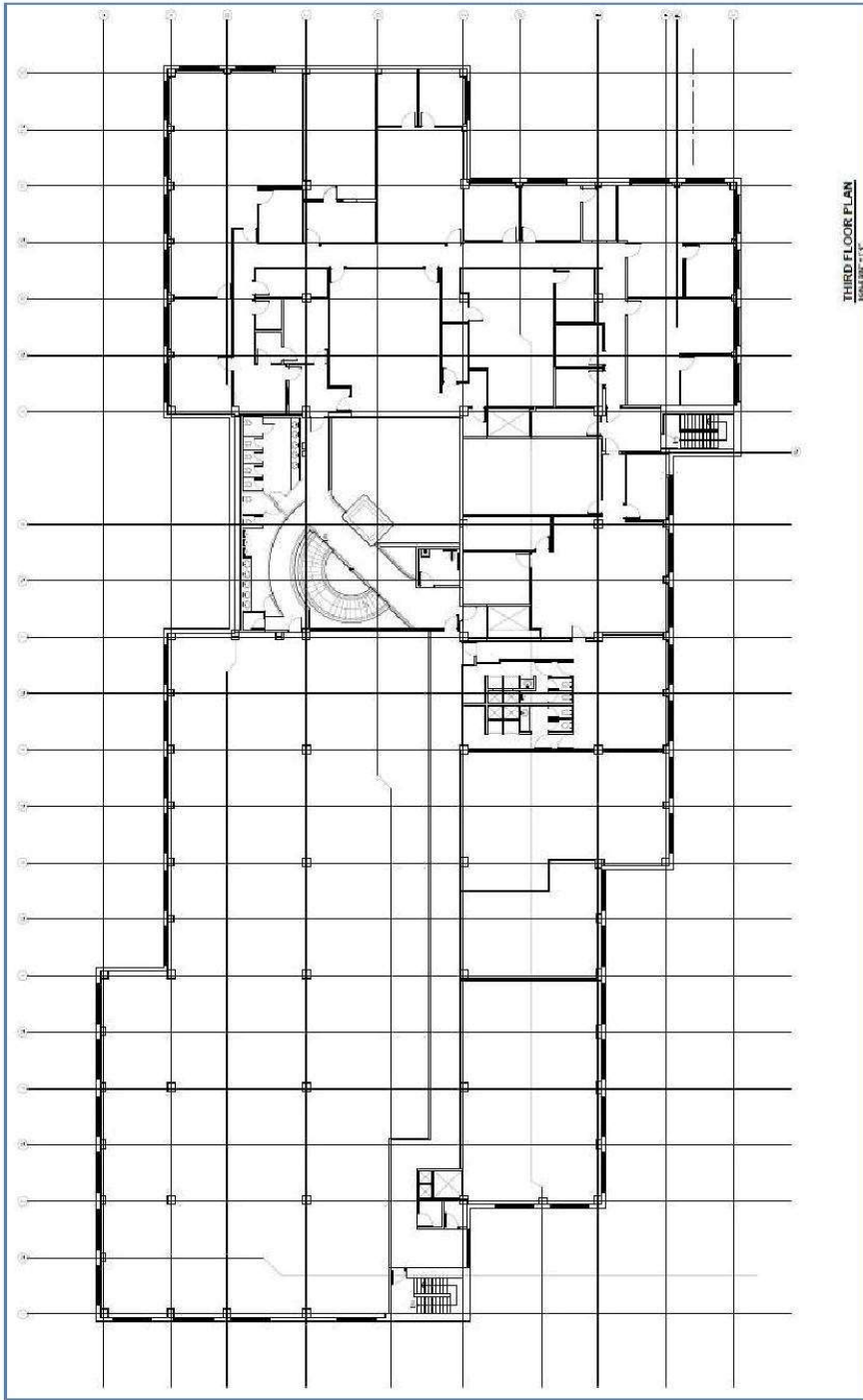


Diagram of Subject Building



## 7.0 Land Use Policies

### **Regional Official Plan**

The Regional Municipality of Niagara Official Plan (the "Regional OP") designates the subject property:

#### **Designated Greenfield Area**

### **Official Plan**

The Town of Niagara-on-the-Lake Official Plan (the "NOTL OP") designates the subject property:

#### **Prestige Industrial**

### **Secondary Plan**

The Glendale Secondary Plan (the "Secondary Plan") designates the subject property:

#### **Prestige Employment**

### **Municipal Zoning**

The Glendale Community Zoning District Zoning By-law zones the subject property:

#### **Prestige Industrial Zone (PI-4A/PI-4B)**

Permitted uses within the PI-4A zone include:

- (a) Bank
- (b) Day care centre
- (c) Hotel and/or motel
- (d) Restaurant

Permitted uses within the PI-4B zone include:

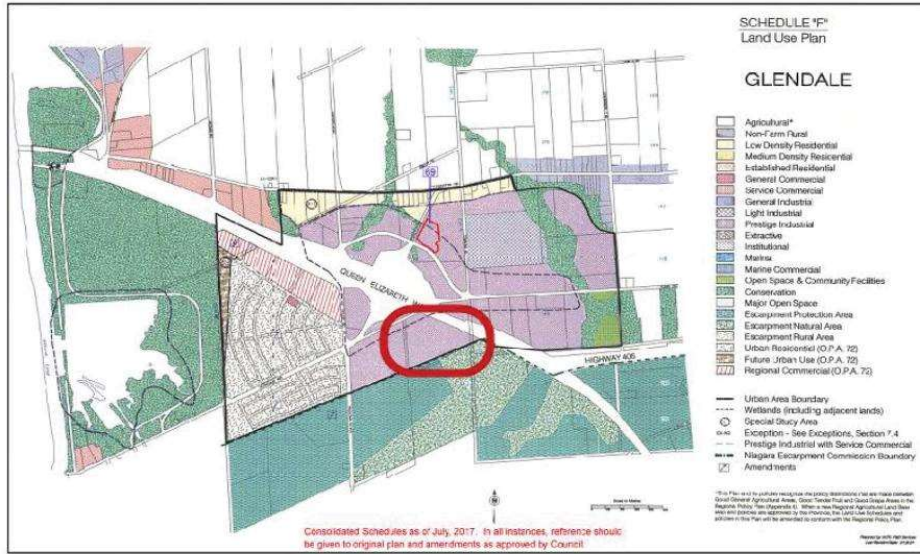
- (a) Accessory buildings and structures
- (b) Data processing establishment
- (c) Laboratories
- (d) Manufacturing establishment
- (e) Offices, business
- (f) Offices, medical/dental
- (g) Offices, professional
- (h) Printing establishment
- (i) Recreational facilities

- (j) Retail sales as a subsidiary use to any permitted use provided the retail area (including showrooms and display areas and other areas to which the general public may have access) does not exceed 15% of the total floor area of the building in which the retail area is permitted.
- (k) Single dwelling unit for the accommodation of a watchman or caretaker
- (l) Warehousing and wholesaling

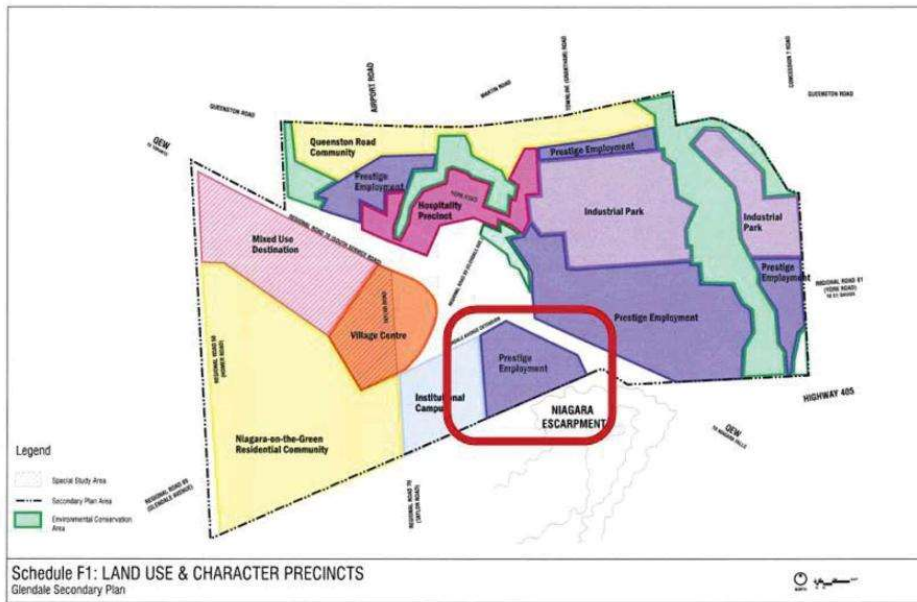
**Policies and Regulations**

A copy of the land use policies and regulations applicable to the subject property has been retained in the PRA working file.

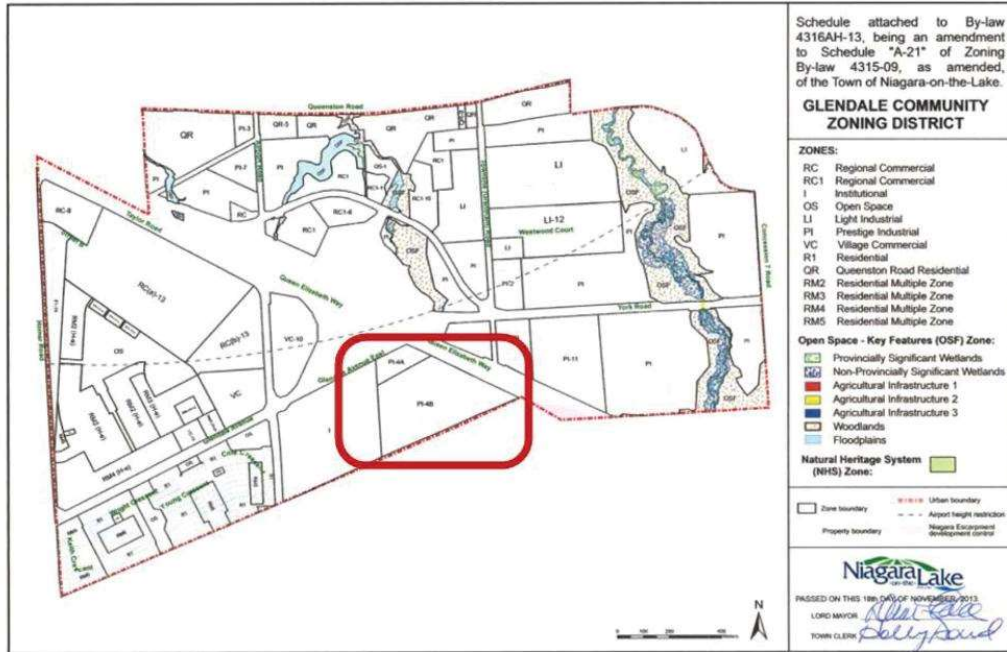
**NOTL Official Plan Map Excerpt**



**Secondary Plan Map Excerpt**



Zoning Map Excerpt



## 8.13 – Appendix N

An ESA of the Niagara College NOTL campus



### Phase 1 Environmental Site Assessment

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*Niagara College Lagoons  
135 Taylor Road  
Niagara-on-the-Lake, Ontario*

Prepared by: Meghan Trimble  
Environmental Management & Assessment,  
Niagara College of Applied Arts and Technology

Prepared for: Niagara College of Applied Arts and Technology

Date: October 24, 2014

Mr. Martin Smith  
Program Coordinator for the Environmental Restoration Program  
School of Environmental and Horticultural Studies  
Niagara College of Applied Arts & Technology  
135 Taylor Road  
Niagara-on-the-Lake, Ontario L0S 1J0

October 24, 2014

**Re: Phase 1 Environmental Site Assessment – Niagara College Lagoons, 135 Taylor Road, Niagara-on-the-Lake, Ontario**

Dear Mr. Smith,

At your request, I have undertaken and completed a Phase 1 Environmental Site Assessment for the Niagara College Lagoons at 135 Taylor Road, Niagara-on-the-Lake, Ontario. The following report entitled *Phase 1 Environmental Site Assessment, Niagara College Lagoons* was done in accordance with the Canadian Standard Association (CSA) Z7168-01. The report details the environmental conditions and concerns at the site based on a review of historical records, my interview with you, and an investigation of the property that was conducted on October 16, 2014.

I hope that the report meets your satisfaction. Thank you for the opportunity to prepare this Phase 1 Environmental Site Assessment, and I am so grateful for all of the helpful information you provided during the interview. If you have any questions or concerns regarding the findings and conclusions of the report, please do not hesitate to contact me.

Sincerely,

Meghan Trimble

Environmental Management and Assessment Graduate Certificate Candidate  
Niagara College of Applied Arts & Technology  
135 Taylor Road  
Niagara-on-the-Lake, Ontario L0S 1J0

## Executive Summary

Meghan Trimble conducted a Phase 1 Environmental Site Assessment of the lagoons located at the Niagara College Glendale Campus, 135 Taylor Road, Niagara-on-the-Lake, Ontario, herein referred to as the “Site”. The property is located Southeast of the Glendale Avenue and Taylor Road intersection. The Phase 1 Environmental Site Assessment was conducted for Niagara College of Applied Arts and Technology in order to determine if evidence of potential or actual environmental contamination could be found on the Site. The report was prepared in accordance with the Canadian Standards Association (CSA) Z768-01.

Historically, the Site was used as agricultural land. The two-celled lagoon was built to in 1965 accommodate the Garden City Raceway, which was once located at the northwest corner of Glendale Avenue and Taylor Road (Dunbar, 1998). After the Garden City Raceway and its barns were demolished in 1989, the lagoons treated sanitary waste from the Foster Wheeler building (now the Niagara Corporate Business Centre) until August of 1997 (Dunbar, 1998). Since the property was purchased in 1993, the Site has undergone a naturalization process and is currently home to a variety of wildlife, including the endangered Least Bittern.

A records review was conducted to determine the past use of the Site through documents such as aerial photographs, maps, previous environmental site assessments, company records, title search and assessment rolls, geological and geotechnical reports, and regulatory information.

A site reconnaissance was conducted on October 16, 2014 in order to assess the conditions at the site. In addition to the site reconnaissance, an interview was conducted with a knowledgeable faculty member from Niagara College. Based on the information obtained through the records review, the interview, and the site reconnaissance, the following observations raise potential concerns about the environmental condition of the Site:

- The property use as agricultural land prior to 1953 and the possible application of pesticides, herbicides, and other chemicals to the area.
- The unknown property use by the Hydro-Electric Corporation of Ontario between 1953 and 1964, and the potential effects the activities may have had during this time.
- There is little information about the piping throughout the lagoons, what they are connected to, and whether they are still connected to a source.
- The use of tires and metal to stabilize the lagoon walls.
- The algae bloom in the South Lagoons.
- The fill that was relocated from the Food Building area and the golf course on Taylor Road to the lagoons without having been tested for contamination.
- The introductions of invasive species as a result of fill being relocated to the Site.

**Table of Contents**

Executive Summary..... iii

1.0 Introduction ..... 1

    1.1 Objectives..... 1

    1.2 Scope of Work..... 1

    1.3 Regulatory Framework..... 1

2.0 Site Description ..... 2

    2.1 Property Information ..... 2

    2.2 On-Site Buildings ..... 2

    2.3 Historical Land Use..... 2

    2.4 Current Site Operations ..... 2

3.0 Records Review ..... 3

    3.1 Aerial Photography ..... 3

    3.2 Title Search and Assessment Rolls ..... 4

    3.3 Prior Phase 1 Environmental Site Assessment Reports ..... 4

    3.4 Company Records ..... 4

    3.5 Geological and Geotechnical Reports ..... 4

    3.6 Regulatory Information..... 4

4.0 Site Reconnaissance..... 5

5.0 Interviews..... 5

6.0 Findings ..... 5

    6.1 Review of Aerial Photography ..... 5

    6.2 Review of Title Search and Assessment Roll..... 6

    6.3 Review of Geological and Geotechnical Reports ..... 7

    6.4 Review of Site Reconnaissance ..... 7

    6.5 Review of Interview ..... 8

7.0 Evaluation of Findings ..... 9

8.0 Conclusions and Recommendations ..... 9

9.0 Qualifications of the Assessor..... 10

10.0 References and Supporting Documentation..... 10

Appendices..... 11

Niagara College Lagoons  
Phase 1 Environmental Site Assessment

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Appendix A – Maps and Figures.....	11
Appendix B – Photography .....	20
Appendix C – Documentation of Interviews .....	27
Appendix D – Title Search .....	32

## **1.0 Introduction**

### **1.1 Objectives**

A Phase 1 Environmental Site Assessment (Phase 1 ESA) was conducted on the Niagara College Glendale Campus Lagoons. The property, herein referred to as the "Site", is located at 135 Taylor Road in the town of Niagara-on-the-Lake, at the Southeast corner of the Glendale Avenue and Taylor Road intersection. The purpose of the Phase 1 ESA is to assess the evidence of potential or actual environmental contamination at the Site, as a result of past and current activities on the property or at surrounding properties. This has been accomplished through review of available information, a site reconnaissance, and an interview with knowledgeable faculty.

Sections 3 through 5 of the report detail the required record findings of a Phase 1 Environmental Site Assessment. Sections 6 and 7 provide a thorough description of the findings, and conclusions and recommendations are made in Section 8.

### **1.2 Scope of Work**

The report consists of the following:

- Records review including (but not limited to) aerial photographs, geological and topographic maps, and publically available city directories;
- Review of previous environmental reports and title searches;
- An interview with a faculty member with knowledge of the Site;
- A site reconnaissance; and
- An evaluation of the information.

No enhancements of the CSA Phase 1 ESA Standards were made for this report. The report does not include sampling or testing of air, soil, groundwater, or surface water. No sampling for hazardous materials or microbial contamination was conducted.

The professional qualifications of the project assessor are provided in Section 9 of the report, under Qualifications of the Assessor.

### **1.3 Regulatory Framework**

The following Phase 1 Environmental Site Assessment report was prepared in accordance with the Canadian Standard Association (CSA) Z768-01 (R2006).

## 2.0 Site Description

### 2.1 Property Information

The Site is located in the southwest corner of the Town of Niagara-on-the-Lake, at 135 Taylor Road. The Queen Elizabeth Way (QEW) is to the East, the Niagara Escarpment is to the South, Taylor Road is to the West, and Glendale Avenue is to the North of the Site (See Appendix A – Figure 2). The Site consists of two lagoons and surrounding trails. According to the results of a title search, the first recorded owner of the property was The Hydro-Electric Power Commission of Ontario in 1953. The property is currently owned by the Niagara College of Applied Arts and Technology, and was purchased by the college in 1993. Directly to the South and Southeast of the lagoons is the Wood End Conservation Area.

### 2.2 On-Site Buildings

There are currently no buildings located on the Phase 1 Site, however there is a shelter structure in the First Nations Garden (See Appendix A – Figure 3). Adjacent buildings on the property include the Niagara College Teaching Brewery, the Greenhouse Centre, and a campus storage building.

### 2.3 Historical Land Use

An aerial photograph from 1934 shows that the property was historically used as farmland (See Appendix A – Figure 4). According to the interviewee, the property was abandoned for a period of time before the land was obtained by The Hydro-Electric Power Commission of Ontario in 1953. The two-celled lagoon was built to in 1965 accommodate the Garden City Raceway, which was once located at the northwest corner of Glendale Avenue and Taylor Road (Dunbar, 1998). After the Garden City Raceway and its barns were demolished in 1989, the lagoons treated sanitary waste from the Foster Wheeler building (now the Niagara Corporate Business Centre) until August of 1997 (Dunbar, 1998).

When the College purchased the property in 1993, the south lagoon was active and trapezoidal in shape, and the north lagoon was empty and rectangular. Three small structures were evident; one at the east end of each cell and another between the cells in the west corner (Dunbar, 1998).

### 2.4 Current Site Operations

Since the property was purchased by the Niagara College of Applied Arts and Technology, the lagoons have undergone a naturalization process. The Site is currently home to a variety of wildlife, including the endangered Least Bittern. Walking trails are located around the lagoons, and a First Nation Garden is also located on Site.

### 3.0 Records Review

#### 3.1 Aerial Photography

Historic aerial photography was obtained through Niagara Navigator, Google Maps, and the map and aerial collection of the Niagara College Glendale Campus Library. The aerial photographs were obtained to determine the past uses of the Site.

Maps were also obtained to determine the soil type of the area as well as the locations of past structures on the Site.

<i>Aerial Photograph/Map</i>	<i>Year Taken/Produced</i>	<i>Description of Photograph/Map</i>	<i>Obtained From</i>
Appendix A – Figure 1	2010	Photograph of the Glendale Avenue and Taylor Road intersection, including the Phase 1 property	Niagara Navigator
Appendix A – Figure 2	2014	Road map of the Glendale Avenue and Taylor Road intersection, including the Phase 1 property	Google Maps
Appendix A – Figure 3	Unknown	Map of the Wetland Ridge Trail	Mr. Martin Smith
Appendix A – Figure 4	1934	Aerial photograph of the Phase 1 property	Niagara Navigator
Appendix A – Figure 5	1971	Aerial photograph of the Phase 1 property	Niagara College Glendale Campus Library
Appendix A – Figure 6	1981	Aerial photograph of the Phase 1 property	Niagara College Glendale Campus Library
Appendix A – Figure 7	1983	Map of the Phase 1 property	Decommissioning Glendale Avenue Lagoons (McGlone & Associates Ltd., 1998)
Appendix A – Figure 8	1994	Aerial photograph of the Phase 1 property	Niagara College Glendale Campus Library
Appendix A – Figure 9	1994	Map of the Phase 1 Site	Decommissioning Glendale Avenue

			Lagoons (McGlone & Associates Ltd., 1998)
Appendix A – Figure 10	1985	Soil map of Phase 1 area	Niagara College Glendale Campus Library
Appendix A – Figure 12	1994	Soil map of Phase 1 area	Niagara College Glendale Campus Library

### 3.2 Title Search and Assessment Rolls

A title search was completed on October 16, 2014 at the St. Catharines Land Registry Office (See Appendix D). The property’s abstract index contains information about property leases, transfers, and ownership of 135 Taylor Road from December 22, 1953 to March 6, 2013.

### 3.3 Prior Phase 1 Environmental Site Assessment Reports

One previous Phase 1 Environmental Site Assessment report was found. The report, entitled *Decommissioning of Glendale Avenue*, was prepared for the Regional Municipality of Niagara in 1995 in preparation for the decommissioning of the lagoons.

### 3.4 Company Records

A search for company records, including site plans, permit records, maintenance records, and environmental monitoring data yielded no results.

### 3.5 Geological and Geotechnical Reports

The soil maps obtained from the Niagara College Glendale Campus Library describe the Phase 1 Site’s soil as mainly lacustrine heavy clay and the area’s drainage as imperfect (Appendix A – Figures 10 and 12). The report *Niagara College Canada: A Vision for the new Glendale Campus* (Dunbar, 1998) also contains biophysical information about the Site, including soils, topography, and hydrology.

### 3.6 Regulatory Information

A search for regulatory information in the Ontario Environmental Registry resulted in nil findings. Environmental Risk Information Services (ERIS) was not consulted due to financial constraints. Government agencies such as the Ministry of Environment and Climate Change and the Regional Municipality of Niagara were not contacted for access to databases and other regulatory information due to the time frame of the project.

#### 4.0 Site Reconnaissance

A site reconnaissance was conducted on Thursday, October 16<sup>th</sup>, 2014. The intent of the site reconnaissance is to inspect the environmental conditions of the site, gather information about the lagoons, and confirm information obtained during the records review. Photographs were taken and general observations were recorded. Information obtained during the site reconnaissance is discussed throughout this report.

<i>Date of Site Reconnaissance</i>	<i>Time at which the Site Reconnaissance Began</i>	<i>Time at which the Site Reconnaissance was Completed</i>	<i>Weather Conditions</i>
Thursday, October 16, 2014	11:33 AM	12:15 PM	Overcast, Partly Sunny  15°Celcius

#### 5.0 Interviews

An interview was conducted with one Niagara College faculty member familiar the subject property. The interviewee was asked questions pertaining to the current and past activities, and events that may affect the environmental conditions at the Site. Information obtained during the interview will be discussed throughout the report. Interview questions and recorded answers can be found in Appendix C – Documentation of Interviews.

<i>Date of Interview</i>	<i>Name of Interviewee</i>	<i>Title</i>	<i>Organization</i>
Friday, October 17, 2014	Mr. Martin Smith	Professor, Environmental Restoration Program Coordinator	Niagara College of Applied Arts and Technology, School of Environmental and Horticultural Studies

#### 6.0 Findings

##### 6.1 Review of Aerial Photography

Aerial photographs of the Site and the area surrounding the Glendale Avenue and Taylor Road intersection were obtained from the Niagara College Glendale Campus Library, Niagara Navigator, and Google Maps. Photographs from the years 1934, 1971, 1981, 1994, and 2010 were recovered from these sources. One major limitation of this report is the lack of aerial photography in periods between the years the recovered aerial photographs were taken.

From the aerial photographs, the land use of the Site appears to be fairly stagnant throughout the years. In 1934, the land was used for farming, however aerial photographs taken after the lagoons were built in 1964 remain fairly consistent. The lagoons appear to be in use from 1971 up to when the last historic aerial photograph was taken in 1994. In the 2010 aerial photograph, the Site appears to have naturalized, however the lagoons have not changed in shape.

The area around the Site appears to have remained consistent over time as well. The woodlot to the East and the Niagara Escarpment to the South are for the most part unchanged. The land to the West of the lagoons changed from an unknown agricultural use to a vineyard at a certain point in time. The only apparent development of within 100 meters of the Site occurred when the Niagara College Glendale Campus was built, which could have had significant environmental impact on the lagoons.

## **6.2 Review of Title Search and Assessment Roll**

A title search was completed at the St. Catharines Land Registry in order to determine the previous ownership and land use history of the site. The title search did not recover any information prior to 1953, however aerial photographs indicate that the site was used as agricultural land during the 1930s (See Appendix A – Figure 4).

The site was transferred to the Hydro-Electric Power Commission of Ontario (now Ontario Hydro) on December 22, 1953. This transfer easement is a significant one as transmission lines or generation stations were potentially built and operated on the Site, which may have led to contamination of the soil, surface water and groundwater.

The Site was transferred to the Corporation of the Township of Niagara in 1964. It was around this time that the lagoons were constructed to accept and treat wastewater from the Garden City Racetrack until 1984 when the track was demolished. In 1971, the flow to the lagoons was approximately 12 ML per year, which dropped to 7.4 ML in 1976 and 1.5 ML by 1977. In 1975, digested sludge from the Port Dalhousie WPCP was reported as being stored at the lagoons (McGlone & Associates Ltd., 1998). The lagoons continued to accept sanitary waste from the Foster Wheeler building and the White Oaks Tennis and Racket Club until the 1990s. In 1992, the flow was 10.0 ML (McGlone & Associates Ltd., 1998). McGlone & Associates (1998) also note in their Phase 1 Environmental Site Assessment of the lagoons that tires were stacked along the North and South berms as shoreline protection, and metal bars and mesh were used to stabilize the walls of the lagoons. These activities would have had a potentially significant environmental impact.

Another significant land transfer was the purchase of the property by Niagara College of Applied Arts and Technology on November 8, 1993. Shortly after purchasing the property, the

College began to build on the property, which included potentially environmentally harmful activities such as moving fill to the lagoons during construction.

### 6.3 Review of Geological and Geotechnical Reports

Two soil maps were obtained from the Niagara College Glendale Campus Library. Both maps indicate that the Site consists of mainly lacustrine heavy clay, and is also described as having Haldimand Soils (HIM) (See Appendix A – Figures 10 and 12). Halimand Soils are located on and are developed from glaciolacustrine clay deposits. They are imperfectly drained and have medium to high water-holding capacities. Surface runoff on Halimand Soils is rapid (Presant and Acton, 1984). This makes the Site an ideal location for wastewater lagoons, as the clay can retain the liquids well and therefore contaminants spread from the site more slowly.

The report *Niagara College Canada: A Vision for the new Glendale Campus* (Dunbar, 1998) describes the topography of the Site as flat with a three percent slope to the North and East. There are groundwater discharge areas South of the lagoons that feed into cold-water streams throughout the Wood End Conservation Area. Surface water collection ditches lie along the base of the Escarpment, with streams that run along the South and West sides of the lagoons. This stream continues westward toward a small wetland near the Queen Elizabeth Way (Dunbar 1998).

### 6.4 Review of Site Reconnaissance

A site reconnaissance was conducted on October 16, 2014 in order to inspect the property for the potential environmental effects discovered during the records review. The weather at the time of investigation was overcast and partly sunny, and 15 degrees Celsius. The following are observations documented during the site reconnaissance:

- Pipes were seen protruding from the ground on the Northwest side of the North Lagoon and on the East side of the South Lagoon (See Appendix B – Photos 7 and 11). The sources of these pipes could not be ascertained.
- A garbage bin on Site was overflowing with litter, most of which appeared to be recyclable material (See Appendix B – Photos 2 and 3). There was more evidence of litter at locations throughout the trails around the lagoons.
- A metal rod was seen protruding from the water in the South Lagoon (See Appendix B – Photo 8). It is likely one of the rods used to stabilize the lagoon walls when the wastewater treatment ponds were in operation.
- Algae blooms were found in the South Lagoon, and mainly concentrated around the East side of the lagoon (See Appendix B – Photos 5 and 6). This is evidence of eutrophication as a result of the large amount of phosphates and sewage that has accumulated in the South Lagoon over time.

- An unidentified solid was discovered on the trail between the two lagoons (See Appendix B – Photo 4). It had the appearance of concrete; however upon closer inspection it appeared to be more of a gravel consistency.
- An abundance of wildlife was observed during the site reconnaissance, including a flock of ducks and a Least Bittern.

### 6.5 Review of Interview

An interview with Mr. Martin Smith, a professor and program coordinator of the Ecosystem Restoration Program at the College, was performed on October 17, 2014. The interviewee was asked to provide information about the Site based on his personal knowledge. The following interviewee explanations were made:

- Before the lagoons were constructed in 1965, the property was used as agricultural land.
- There are two groundwater monitoring wells on Site. One is located at the Southwest corner of the South Lagoon and another at the Southeast corner.
- The Niagara Escarpment drains into the South Lagoon, while the South Lagoon drains to the North Lagoon. There is a discharge outlet in the Northeast of the North Lagoon.
- There is underground piping on Site, but no known underground storage tanks.
- The original sold sludge from the wastewater treatment operation remain at the bottom of the lagoons.
- Solid waste is collected in garbage cans around the lagoons.
- Septic beds from homes located on the Niagara Escarpment seep down the slope towards the lagoons, however this does not directly affect the lagoons.
- The vineyard to the West of the lagoons will throw away netting from their ice wine season.
- Fill was moved during the construction of the Food Building to the lagoons due to the high cost of landfill fees.
- The lagoons treated water from the Foster Wheeler building during the 1990s.
- The North Lagoon was subdivided into cells.
- Nitrogen and phosphorous metals are in the lagoon water. There is not a lot known about the sediments at the bottom of the lagoons.
- The water is very eutrophic due to the sewage and phosphorous content of the water.
- There have been no odour complaints about the site or its surrounding land.
- There is a divide between the lagoons and the irrigation pond on site, so there is little chance of contamination.
- Clay from the landscaping of the golf course on Taylor Road was moved to the area around the lagoons, which brought invasive species onto the property.

- Water was drained from the lagoons by the previous campus manager due to the threat of West Nile Virus.
- Two endangered species are known to be or is likely to be found living in or around the lagoons: the Least Bittern and the Jefferson Salamander.

### 7.0 Evaluation of Findings

Based on the information obtained through the records review, the interview, and the site reconnaissance, the following raise potential concerns about the environmental condition of the Site:

- The property use as agricultural land prior to 1953 and the possible application of pesticides, herbicides, and other chemicals to the area.
- The unknown property use by the Hydro-Electric Corporation of Ontario between 1953 and 1964, and the potential effects the activities during this time may have had.
- Little information about the piping throughout the lagoons, what they are connected to, and whether they are still connected to a source.
- The use of tires and metal to stabilize the lagoon walls.
- The algae bloom in the South Lagoon (eutrophication).
- The fill that was relocated from the Food Building area and the golf course on Taylor Road to the lagoons without having been tested for contamination.
- The introductions of invasive species as a result of fill being relocated to the Site.

### 8.0 Conclusions and Recommendations

The Phase 1 Environmental Site Assessment revealed evidence of potential environmental contamination at the Niagara College Lagoons in Niagara-on-the-Lake, Ontario. It is recommended that a Phase 2 Environmental Site Assessment, consistent with Canadian Standards Association Z769-01, be conducted to address:

- The sources of eutrophication in the lagoons
- The quality of the fill that was relocated to the Site
- The locations and sources of piping on the Site

It is also strongly recommended that sediments from the bottom of the lagoons be analysed and tested for their toxicity.

## 9.0 Qualifications of the Assessor

This Phase 1 Environmental Site Assessment was researched and written by Meghan Trimble. She holds a Bachelor of Arts degree in Environmental & Resource Studies and Anthropology from Trent University, and is a candidate for a post-graduate certificate in Environmental Management and Assessment from Niagara College. The assessor had little association with the client prior to accepting the project.

## 10.0 References and Supporting Documentation

Canadian Standards Association (2001 [2006]). CSA Z768: Phase I Environmental Site Assessments. Toronto: Canadian Standards Association.

Dunbar, C. (1998). Niagara College Canada: A Vision for the New Glendale Campus. Guelph, ON: University of Guelph.

Google. (2014). *Map of the Glendale Avenue and Taylor Road intersection*. Generated by Meghan Trimble using "Google Maps".

McGlone & Associates Ltd. (1998). Decommissioning Glendale Avenue Lagoons – Town of Niagara On The Lake. Thorold, Ontario.

Presant, E.W. and C.J. Acton. (1984). The Soils of the Regional Municipality of Haldimand-Norfolk: Volume 1. Ontario Institute of Pedology.  
[http://sis.agr.gc.ca/cansis/publications/surveys/on/on57/on57-v1\\_report.pdf](http://sis.agr.gc.ca/cansis/publications/surveys/on/on57/on57-v1_report.pdf)

Regional Municipality of Niagara (1985, 1994). *Soils of St. Catharines and Niagara-on-the-Lake*. Niagara: Regional Municipality of Niagara.

Regional Municipality of Niagara. *Phase 1 Property – 1934*. Generated by Meghan Trimble; using "Niagara Navigator".

Regional Municipality of Niagara. *Phase 1 Property – 2010*. Generated by Meghan Trimble; using "Niagara Navigator".

## Appendices

### Appendix A – Maps and Figures

Appendix A – Figure 1. Aerial photograph of the Phase 1 Property, 2010



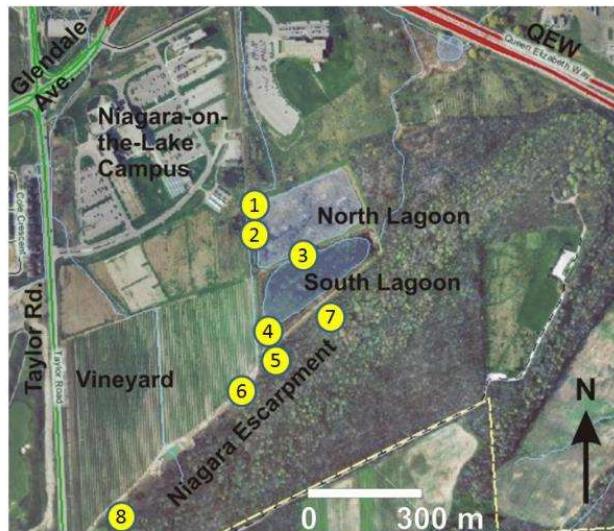
Appendix A – Figure 2. Map of the Glendale Avenue and Taylor Road intersection, Google Maps



Appendix A – Figure 3. Map of the Wetland Ridge Trail

### Wetland Ridge Trail

- 1 First Nations Garden
- 2 Outdoor Learning Amphitheatre
- 3 Turtle Nesting Habitat
- 4 Snake Hibernaculum
- 5 Salamander Breeding (Vernal) Pool
- 6 Wetland Ridge Trail link to Bruce Trail
- 7 Breeding boxes for wood ducks
- 8 Forest edge regeneration zone



Appendix A – Figure 4. Aerial photograph of the Phase 1 Property, 1934.  
Lagoon area highlighted in yellow



**Phase 1 Property - 1934**  
Aerial Photograph

**Niagara**  **Region**



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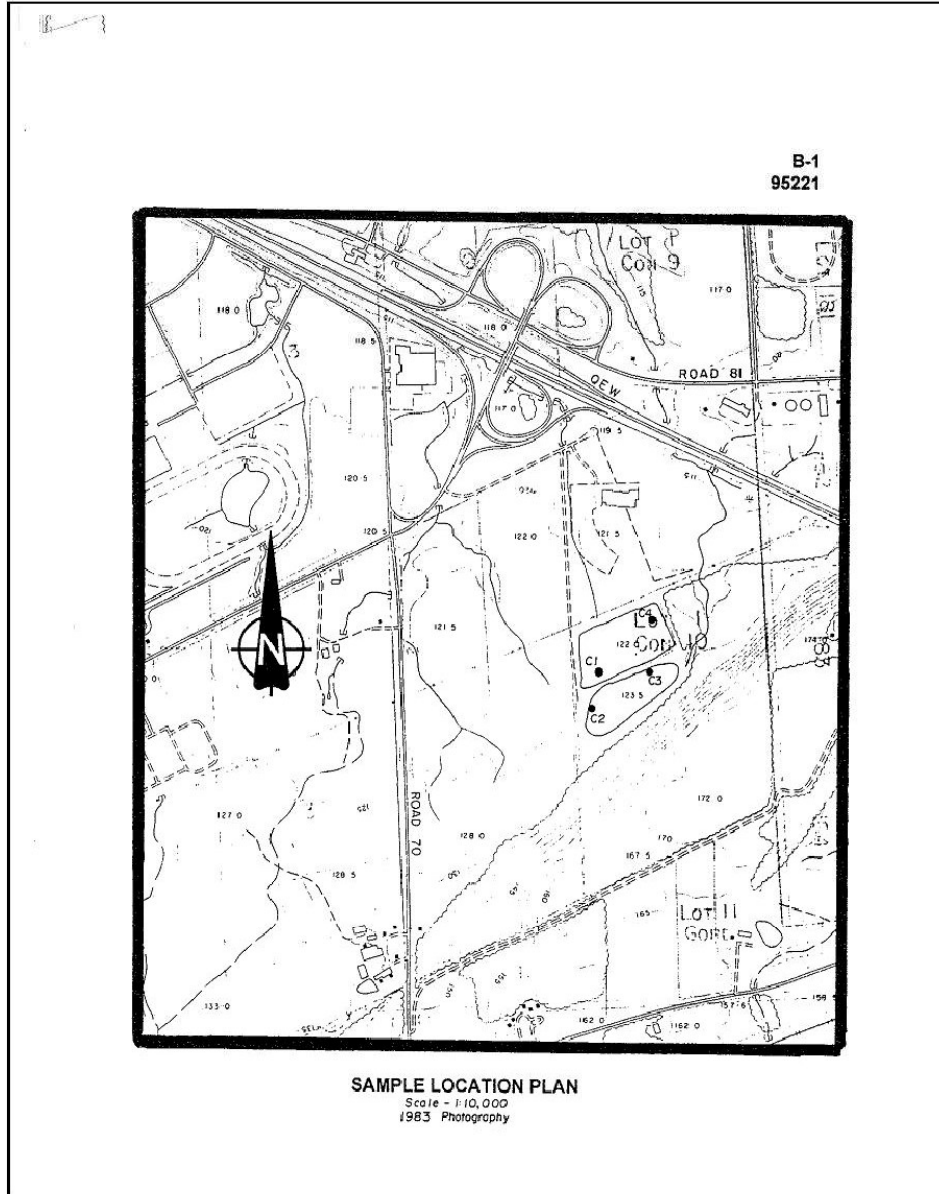
Appendix A – Figure 5. Aerial photograph of the Phase 1 Property, 1971.



Appendix A – Figure 6. Aerial photograph of the Phase 1 Property, 1981.



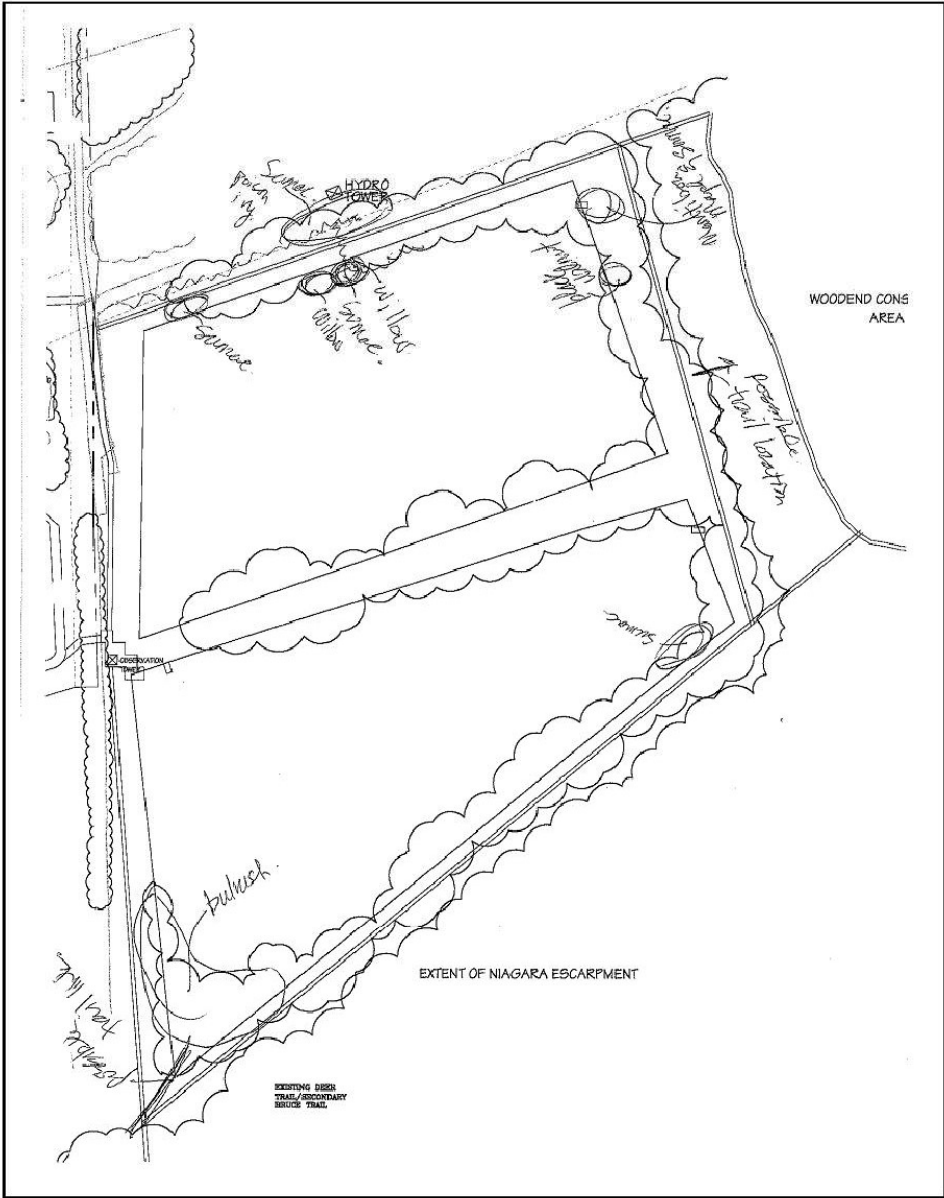
Appendix A – Figure 7. Map of the Phase 1 Property, 1983.



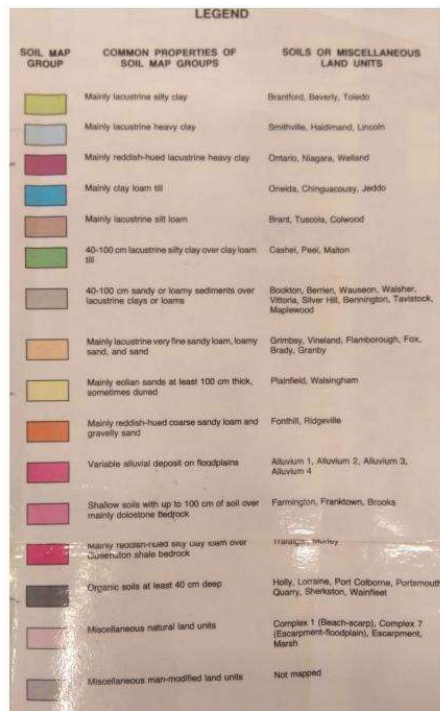
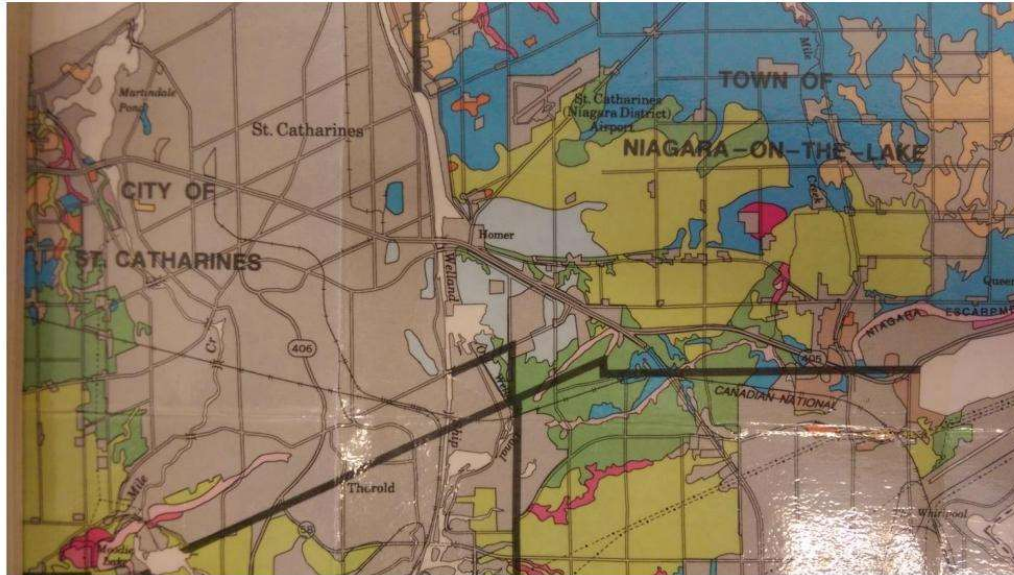
Appendix A – Figure 8. Aerial photograph of the Phase 1 Property, 1994.



Appendix A – Figure 9. Map of the Phase 1 Site, 1994.



Appendix A – Figure 10. Soil map of the Phase 1 area.



Appendix A – Figure 11.  
Legend accompanying the Figure 10 soil map of the Phase 1 area.

Appendix A – Figure 12. Soil map of the Phase 1 area.



Appendix A – Figure 13. Legend accompanying the Figure 12 soil map of the Phase 1 area.

FRM 7	FRM.V	FRM	textures over bed-rock					PEL 9	PEL
			See FRM 4	10-20 cm variable textures over bed-rock	Rapid	Rapid		PEL 12	PEL.R
<b>GMV - Grimsby</b>									
GMV 1	GMV	None	Mainly reddish-hued lacustrine fine sandy loam and very fine sandy loam		Well			PEL 15	PEL.HR
GMV 3	GMV	VLD	See GMY 1	See VLD 1	Well	Imperfect		PEL 16	PELLR
GMV 4	GMV	FMB	See GMY 1	See FMB 1	Well	Poor		PEL 18	PELL
GMV 8	GMV	1-ALU	See GMY 1	See ALU 1	Well	Variable		<b>RVE - Ridgeville</b>	
<b>HIM - Haldimand</b>									
HIM 1	HIM	None	Mainly lacustrine heavy clay		Imperfect			RVE 1	RVE
HIM 3	HIM	LIC	See HIM 1	See LIC 1	Imperfect	Poor		RVE 2	RVE
<b>JDD - Jeddo</b>									
JDD 1	JDD	None	Mainly clay loam till		Poor			<b>SHV - Smithville</b>	
JDD 2	JDD.R	None	Mainly reddish-hued clay loam till		Poor			SHV 5	SHV
JDD 3	JDD.LR	None	15-40 cm loamy texture over reddish-		Poor			<b>TFG - Trafalgar</b>	
								TFG 8	TFG

**Appendix B – Photography**

Appendix B – Photo 1. One of many unfilled holes from soil auguring.



Appendix B – Photo 2. Overflowing garbage bin.



Appendix B – Photo 3. Garbage that had blown out of the garbage bin.



Appendix B – Photo 4. Unknown solid. Possibly gravel.



Appendix B – Photo 5. Algae collecting in East corner of the South Lagoon.



Appendix B – Photo 6. Algae bloom and unknown structure.



Appendix B – Photo 7. Unknown pipe, on trail East of the South Lagoon.



Appendix B – Photo 8. Metal rod protruding from the South Lagoon.



Appendix B – Photo 9. More algae on the West side of the South Lagoon.



Appendix B – Photo 10. Vineyard to the West of the Lagoons.



Appendix B – Photo 11. Unknown pipes on Northwest side of the North Lagoon, near the First Nations Garden.



Appendix B – Photo 12. Tire tracks on motorized access road.



Appendix B – Photo 13. Hydro tower and power lines to the North of the lagoons.



Appendix B – Photo 14. Greenhouses and the Niagara College Teaching Brewery to the Northwest of the lagoons.



## Appendix C – Documentation of Interviews

### 1 | Phase 1 ESA Interview Questions

#### Phase 1 ESA Interview Questions

Client: Niagara College Interviewer: Meghan Trimble

Name of Interview Candidate: Martin Smith

Title: Professor and Program Coordinator Date: October 17, 2014

Relationship/How long with company? 11 years

1. Have there been any demolitions of buildings/structures at the Site?

No. Land used for farming.

2. Are any septic beds located on the property?

No

3. Are there any water wells located on the property? If so, is the driller's log available? How deep is the well?

Two groundwater monitoring wells. One at SW corner of South Lagoon and one at the SE.

4. Are there any problems with Site drainage? Has there been any flooding?

South lagoon drains to the north lagoon. The escarpment drains into the south lagoon. Discharge outlet in NE of

2 | Phase 1 ESA Interview Questions

5. Are there any aboveground storage tanks? Have they been removed in the past?

No.

6. Are there any underground storage tanks located on the site? Have they been removed in the past?

Piping, but no storage tanks.

7. Have any pesticides/herbicides/sludge ever been applied to the Site? If so, when, and what products?

No

8. Are there any odour problems from the Site to your neighbours or from the surrounding buildings to your Site?

No

9. How is solid waste stored and disposed?

Original said sludge remain on the bottom of lagoons. Garbage collected in serbage cans.

3 | Phase 1 ESA Interview Questions

10. Was the Site ever used for agricultural purposes? If so, approximately what years and what crops?

Yes - before 1965.

11. Have any other inspections occurred on the Site (i.e. Ministry of Labour, Ministry of the Environment, Township/Municipality, Insurance agency, etc.). Any other environmental reports completed for the Site?

Possibly when the site was purchased.

Geotechnical Report in 1995.

12. Are there any outstanding regulatory compliance issues (such as zoning, labour, or environment) with the Site? Have there been any in the past?

No

13. Are there any problems with the neighbouring properties such as chemical storage, contamination, etc.?

Septic beds from homes on top of the escarpment, but does not directly affect the lagoons.

Vineyard throws netting by the lagoon.

4 | Phase 1 ESA Interview Questions

14. Has any waste been dumped on the property? Has any soil or fill from an unknown source been deposited on the Site?

Fill from Food Building moved to the lagoon.  
Cost was too high to dispose of properly.

15. Is there any other person we could contact for additional information?

\_\_\_\_\_

16. Are there any additional comments related to the environmental matters that you have?

\_\_\_\_\_

---

The above information is a true representation of my knowledge of the Site and its operations.  
I understand that this information will be compiled in the Phase 1 ESA Report.

Signature of Interviewed Candidate: \_\_\_\_\_

Additional notes taken during the Interview:

- Lagoons built in 1965
- Treated waste water from the horse race track across the road
- Lagoon bottoms consist mostly of clay
- Passive treatment plant
- Treated sewage from the Foster Wheeler building (now known as the Niagara Corporate Business Centre) in the 1990s
- North lagoon was subdivided
- The area is mostly clay
- There are pipes on site from unknown sources
- There is nitrogen and phosphorous metals in the lagoon water
  - o Not a lot is known about the sediments at the bottom
- Reductive dissolution of iron in the water – phosphate is reduced
- The water is very eutrophic
- Six Mile Creek discharges into the lagoons
- The minnows in the lagoons are sick with cancerous lesions
  - o Unknown if caused by bacteria or contaminants in the water
- There is a divide between the lagoons and the irrigation pond on site – little chance of contamination
- Clay from the golf course was dumped near the lagoons
  - o This brought invasive species onto the property
- Water was drained by previous campus manager because of the threat of West Nile Disease
- Two endangered species known to be or is likely to be found living in or near the lagoons: Least Bittern and Jefferson Salamander





Niagara College Lagoons  
Phase 1 Environmental Site Assessment



LAND REGISTRY (REGISTRATION) AND MORTGAGE IDENTIFICATION  
 LAND REGISTRY OFFICE #32  
 46387-0006 (L1)

PAGE 1 OF 1  
 PREPARED FOR REGINA TRIMBLE  
 ON 2016/10/16 AT 11:57:46

\* CONSOLIDATED IN ACCORDANCE WITH THE LAND TITLE ACT \* SUBJECT TO REGULATIONS IN UMBON 08/01/06 \*

REG. NO.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CHRG/CHSD
<b>ADDRESS: RD: 4067462</b>						
8034448	2006/04/11	AGREEMENT		*** COMPLETELY DELETED *** NIAGARA COLLEGE OF APPLIED ARTS AND TECHNOLOGY	APC INDUSTRIES LTD.	
REMARKS: RD: 4067462						
8031087	2006/12/16	AGREEMENT		*** COMPLETELY DELETED *** NATIONAL MILLWORK CO. LIMITED		
REMARKS: DELIVERY AGREEMENT & RECEIPT						
8032178	2012/02/06	NOTICE OF LEASE	0.00	NIAGARA COLLEGE OF APPLIED ARTS AND TECHNOLOGY	BELL MOBILITY INC.	C

NOTE: ACCORDING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN RESPECTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
 NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE CHECKED THEM ALL OFF.



LAND REGISTRY (REGISTRATION) AND MORTGAGE IDENTIFICATION  
 LAND REGISTRY OFFICE #32  
 46387-0002 (R1)

PAGE 1 OF 1  
 PREPARED FOR REGINA TRIMBLE  
 ON 2016/10/16 AT 11:07:12

\* CONSOLIDATED IN ACCORDANCE WITH THE LAND TITLE ACT \* SUBJECT TO REGULATIONS IN UMBON 08/01/06 \*

**PROPERTY DESCRIPTION:** 1000/07/29 THE LOCATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1998/01/28 ON THIS DEED\*\*  
 \*\*BANK: THE BANK OF MONTREAL (BANK) (INCORPORATED IN CANADA) (BANK) (INCORPORATED IN CANADA)  
 \*\* DEEDS: INCLUDES ALL DOCUMENT TYPES AND RELATED INSTRUMENTS SINCE 1998/01/23 \*\*  
 THIS ADDRESS: (MORTGAGE) AND (MORTGAGE) AND (MORTGAGE) FROM: 1998/01/23.  
 FOR THE PREVIOUS ABSTRACT SEE CONTRACT BOOK

**PROPERTY DETAILS:** THIS PARCEL WAS CREATED BASED ON INFORMATION CONTAINED IN DOCUMENT(S) 80374925, WHICH IS (ARE) SUBJECT(S) FOR PLAN IDENTIFICATION ONLY.  
**ESTATE/COLLAPSE:** RECENTLY INCORPORATED  
 CREATION DATE: 1998/01/28

REG. NO.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CHRG/CHSD
<b>**REPEATING: 2009/07/29 THE LOCATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1998/01/28 ON THIS DEED**</b>						
<b>**BANK: THE BANK OF MONTREAL (BANK) (INCORPORATED IN CANADA) (BANK) (INCORPORATED IN CANADA)</b>						
<b>** DEEDS: INCLUDES ALL DOCUMENT TYPES AND RELATED INSTRUMENTS SINCE 1998/01/23 **</b>						
<b>THIS ADDRESS: (MORTGAGE) AND (MORTGAGE) AND (MORTGAGE) FROM: 1998/01/23.</b>						
<b>FOR THE PREVIOUS ABSTRACT SEE CONTRACT BOOK</b>						
<b>NOTE: THIS DEED WAS ONCE REG. DEED 46387-0006. THIS PROPERTY WAS CONVEYED TO IT ON 2004/02/23 REVERSING DEED 46387-0006.</b>						
80374006	2003/11/08	CHARGE	61,800,000		NIAGARA COLLEGE OF APPLIED ARTS AND TECHNOLOGY	C
REMARKS: RECEIVED						
8039484	1998/04/08	CONSTRUCTION LIEN		*** COMPLETELY DELETED *** HONORABLE GEORGE DUBOIS FUND BY EL		
8039803	1998/01/23	RELEASE		*** COMPLETELY DELETED *** MELVIN, RONALD	NIAGARA COLLEGE OF APPLIED ARTS AND TECHNOLOGY	
REMARKS: 02740454						
8039900	1998/05/24	CONVEYANCE LIEN		*** COMPLETELY DELETED *** NIAGARA COLLEGE OF APPLIED ARTS & TECHNOLOGY	ALL CANADA TRAVE TRAVEL COOP.	
80740019	1998/04/30	RELEASE		*** COMPLETELY DELETED *** ALL CANADA TRAVE TRAVEL COOP.		
REMARKS: 80732888						
80743184	1998/07/10	TRANSFER TAX	\$10,000	THE BOARD OF GOVERNORS OF THE NIAGARA COLLEGE OF APPLIED ARTS AND TECHNOLOGY	FOSTER NEEDLER LIMITED	C
REMARKS: PLANNING ACT CONSENT PCS 142 3386658						
80744718	1998/01/20	CONSTRUCTION LIEN		*** COMPLETELY DELETED *** NIAGARA COLLEGE OF APPLIED ARTS AND TECHNOLOGY ROY CORCORAN EQUIPMENT LIMITED		

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Niagara College Lagoons  
Phase 1 Environmental Site Assessment



LAND REGISTRY OFFICE #30  
4537-092 (B)

PAGE 2 OF 3  
PREPARED FOR MORGAN TRIMBLE  
ON 2014/10/26 AT 11:07:21

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CHRG/DEBD
8071850	1994/07/02	3134 CONVEYANCE (L.I.M.)		*** COMPLETELY DELETED ***	NIAGARA COLLEGE OF APPLIED ARTS AND TECHNOLOGY RAY-GARDER EQUIPMENT LIMITED	
		REMARKS: RE: 8071847				
8071854	1999/01/27	TRANSFER		62 POSTER WHEELER LIMITED	TRIVIERI INVESTMENTS LIMITED	C
		REMARKS: RE: CORRECTING DESCRIPTION TO: WITH B.L.S. OVER PLS 1 & 2 ON 3081985				
8071847	1999/01/27	NOTICE OF LEASE		TRIVIERI INVESTMENTS LIMITED	POSTER WHEELER LIMITED	C
8071848	1999/01/27	CHARGE	\$3,000,000	TRIVIERI INVESTMENTS LIMITED	CIBC MORTGAGES INC.	C
8071849	1999/01/27	NOTICE		TRIVIERI INVESTMENTS LIMITED	CIBC MORTGAGES INC.	C
		REMARKS: RE: CHANGE 8071850				
8071855	1999/01/27	ASSIGNMENT LEASE		62 TRIVIERI INVESTMENTS LIMITED	CIBC MORTGAGES INC.	C
		REMARKS: RE: 8071854, 8071848, 8071847				
8071889	1994/08/14	ASSIGNMENT		REGISTRATION BY THE TOWN OF NIAGARA ON THE LAKE	NIAGARA COLLEGE OF APPLIED ARTS AND TECHNOLOGY	C
8071911	1994/11/18	ASSIGNMENT		NIAGARA COLLEGE OF APPLIED ARTS AND TECHNOLOGY	THE CORPORATION OF THE TOWN OF NIAGARA ON THE LAKE	C
8071189	2003/08/19	LIEN		*** COMPLETELY DELETED *** 2613 5515 QUEBEC INC. C.O.B.E. 16 LAMBERT BOULEVARD		
8071296	2003/09/25	CONSTRUCTION LIEN		*** COMPLETELY DELETED *** ALL OTHERS: THE TOWN OF NIAGARA ON THE LAKE		
8071297	2003/09/27	CONSTRUCTION LIEN		*** COMPLETELY DELETED *** HEIDENRICH STEEL OCS AS K & K CARPENTRY		
8071374	2003/05/18	LIEN		*** COMPLETELY DELETED *** CORAL INSULATION INC.		
8071295	2003/10/19	LIEN		*** COMPLETELY DELETED *** ONTARIO SUPERIOR COURT	BUTCHER LIMITED	

NOTE: ANNUAL FEE PROPORTION SHOULD BE RECALCULATED TO ACCURATELY REFLECT THE PROPORTION OF ANY APPLICABLE PROPORTION TO THE PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE CHECKED THEM ALL OFF.



LAND REGISTRY OFFICE #30  
4537-092 (B)

PAGE 3 OF 3  
PREPARED FOR MORGAN TRIMBLE  
ON 2014/10/26 AT 11:07:22

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CHRG/DEBD
8071930	2008/10/19	CONVEYANCE (L.I.M.)		*** COMPLETELY DELETED *** ILCO OFFICE INC.		
8071937	2008/12/13	RELEASE		*** COMPLETELY DELETED ***	TANER INSULATION INC.	
		REMARKS: RE: 8071936				
8071939	2008/12/29	CHARGE		*** COMPLETELY DELETED *** ONTARIO SUPERIOR COURT		
		REMARKS: 8071938				
8080411	2002/11/23	ASSIGNMENT		THE CORPORATION OF THE TOWN OF NIAGARA ON THE LAKE	NIAGARA COLLEGE OF APPLIED ARTS AND TECHNOLOGY	C
		REMARKS: ASSIGNMENT TO SITE PLAN				
8001930	2004/01/23	CONVEYANCE (L.I.M.)	\$719,310	1161205 ONTARIO LTD		C

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